

# Hyden Recreation Centre



Opinion of Probable Cost (Draft)

17 May 2023

At

**38 Marshall Street  
Hyden, WA 6359**

**Slavin Architects Pty Ltd  
Architect  
1C, Pearse Street  
North Fremantle, WA 6159**

**Wilde and Woollard (WA)  
Cost Consultants & Quantity Surveyors  
Unit 1, 1008 Wellington Street  
West Perth, WA 6005**

## SUMMARY

**PROJECT:** Hyden Recreation Centre**DETAILS:** Opinion of Probable Cost (Draft) - May  
2023**BUILDING:** Proposed Re-development Work

Code	Scope Of Work	Total Cost
RC	Recreation Centre Redevelopment	11,417,938
NOTE: ALL COSTS EXCL. GST		
ANTICIPATED TOTAL PROJECT COST		11,417,938

# REPORT DETAILS

**PROJECT:** Hyden Recreation Centre

**DETAILS:** Opinion of Probable Cost (Draft) - May 2023

**BUILDING:** Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
<b>RC Recreation Centre Redevelopment</b>					
	<b><u>SITE PREPARATIONS</u></b>				
1	Allow for site preparation		Item		146,000
2	Provision for excavation in rocks		Excl.		Excluded
	<b><u>DEMOLITIONS AND ALTERATIONS</u></b>				
	<b><u>General Items</u></b>				
3	Allow for the removal of asbestos related materials found on site		Excl.		Excluded
4	Allow for temporary partitions / barrier if necessary		Item		5,000
5	Allow for removal of sundry items prior to commencing the demolition works		Item		3,500
	<b><u>Whole Structure</u></b>				
6	Demolish existing recreation centre and change rooms		Item		107,700
7	Demolish existing tennis club and toilet area		Item		61,700
	<b><u>Generally</u></b>				
8	Allow for general making good all works disturbed by the demolitions and alterations		Item		17,800
	<b><u>NEW WORKS</u></b>				
9	Gym	104	m2	1,810.00	188,240
10	E.O Gym equipment & furniture		Excl.		Excluded
11	Change room	221	m2	2,600.00	574,600
12	Wet areas	104	m2	2,540.00	264,160
13	Toilet	63	m2	2,460.00	154,980
14	Bar & Kitchen	72	m2	3,330.00	239,760
15	Function Room	329	m2	1,980.00	651,420
16	Offices & Meeting Room	39	m2	1,740.00	67,860
17	Store	66	m2	950.00	62,700
18	Common Area	38	m2	1,590.00	60,420
	<b><u>ROOF LEVEL</u></b>				
19	Roof complete including structure, roof covering, roof plumbing	2,153	m2	610.00	1,313,330

# REPORT DETAILS

**PROJECT:** Hyden Recreation Centre

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**BUILDING:** Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
<b>RC</b>	<b>Recreation Centre Redevelopment</b>				<i>(Continued)</i>
20	Do. but circular	325	m2	732.00	237,900
21	Extra for soffit lining	1,442	m2	273.00	393,666
	<b><u>ENGINEERING SERVICES</u></b>				
22	Hydraulics Services		Item		152,800
23	Distribution board		Item		35,000
24	Electrical services		Item		391,000
25	Air Conditioning		Item		177,450
26	Ventilation		Item		95,382
27	Fire protection		Item		25,900
28	Builder's Works in connection with services		Item		87,800
	<b><u>EXTERNAL WORKS</u></b>				
29	Concrete paving to verandah	1,280	m2	95.00	121,600
30	New grass bank	1,824	m2	65.00	118,560
31	Retaining walls, approx. 1m high	222	m	455.00	101,010
32	Retaining concrete footing	222	m	125.00	27,750
33	Galvanised balustrading, approx. 1000 high	222	m	650.00	144,300
	<b><u>EXTERNAL SERVICES</u></b>				
34	Provision for sewerage		Item		7,000
35	Provision for cold water supply		Item		5,000
36	Provision for fire services		Item		9,000
37	Provision for gas supply		Excl.		Excluded
38	Provision for storm water drainage		Item		84,000
	<b><u>External Electrical Services</u></b>				
39	Power conduits and pit systems		Item		7,000
40	Power upgrade		Excl.		Excluded
41	Builder's work		Item		700
	<b><u>ON COST</u></b>				



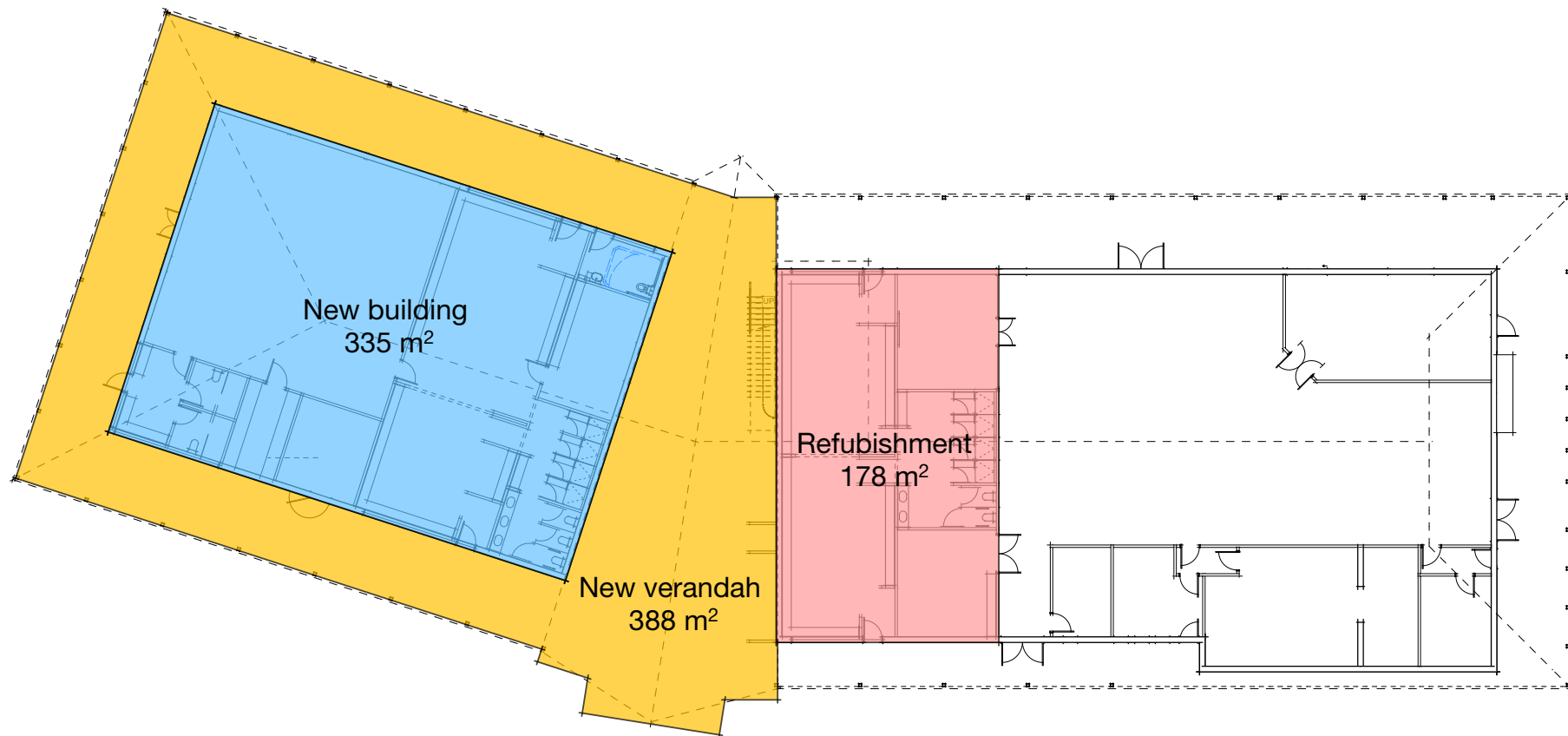
# REPORT DETAILS

**PROJECT:** Hyden Recreation Centre

**DETAILS:** Opinion of Probable Cost (Draft) - May 2023

**BUILDING:** Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
<b>RC</b>	<b>Recreation Centre Redevelopment</b>				<i>(Continued)</i>
42	Preliminaries, 18%		Item		1,106,000
43	Design Contingency, 10%		Item		725,000
44	Contract Contingency, 5%		Item		399,000
	<b>ESTIMATED TOTAL BUILDING COST IN PERTH</b>		<b>\$\$</b>		<b>8,225,988</b>
45	Locality Allowance, 25%	8,225,988	Item	0.25	2,056,497
	<b>ESTIMATED TOTAL BUILDING COST IN HYDEN</b>		<b>\$\$</b>		<b>10,282,485</b>
46	Escalation (based on Construction start December 2024)		Item		989,453
47	GST		Excl.		Excluded
48	Professional Fees		Excl.		Excluded
49	Furniture & Equipment		Excl.		Excluded
<b>Recreation Centre Redevelopment TOTAL</b>					<b>11,417,938</b>



**GROUND FLOOR AREA**  
1:200

REFURBISHMENT	1500 @	178	=	267,000
VERANDAH	1000 @	288	=	388,000
NEW BUILDING	2500 @	335	=	837,000
TOTAL			=	1.492M

(+15% prelims)	=	1.715M
(+10% design cont.)	=	1.887M
(+5% contract cont.)	=	1.98M

**(+25% locality allow.) = 2.46M**

DATE	REVISION
<b>Project</b> Hyden Recreation Centre Redevelopment	
<b>Address</b> 38 Marshall Street Hyden WA 6359	
<b>This Sheet</b> Proposed Floor Plan Areas	
<b>Plot Date</b>	28/8/20
<b>Scale @A3</b>	1:200
<b>Project No</b>	202004

**Drawing No** A210

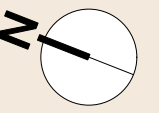
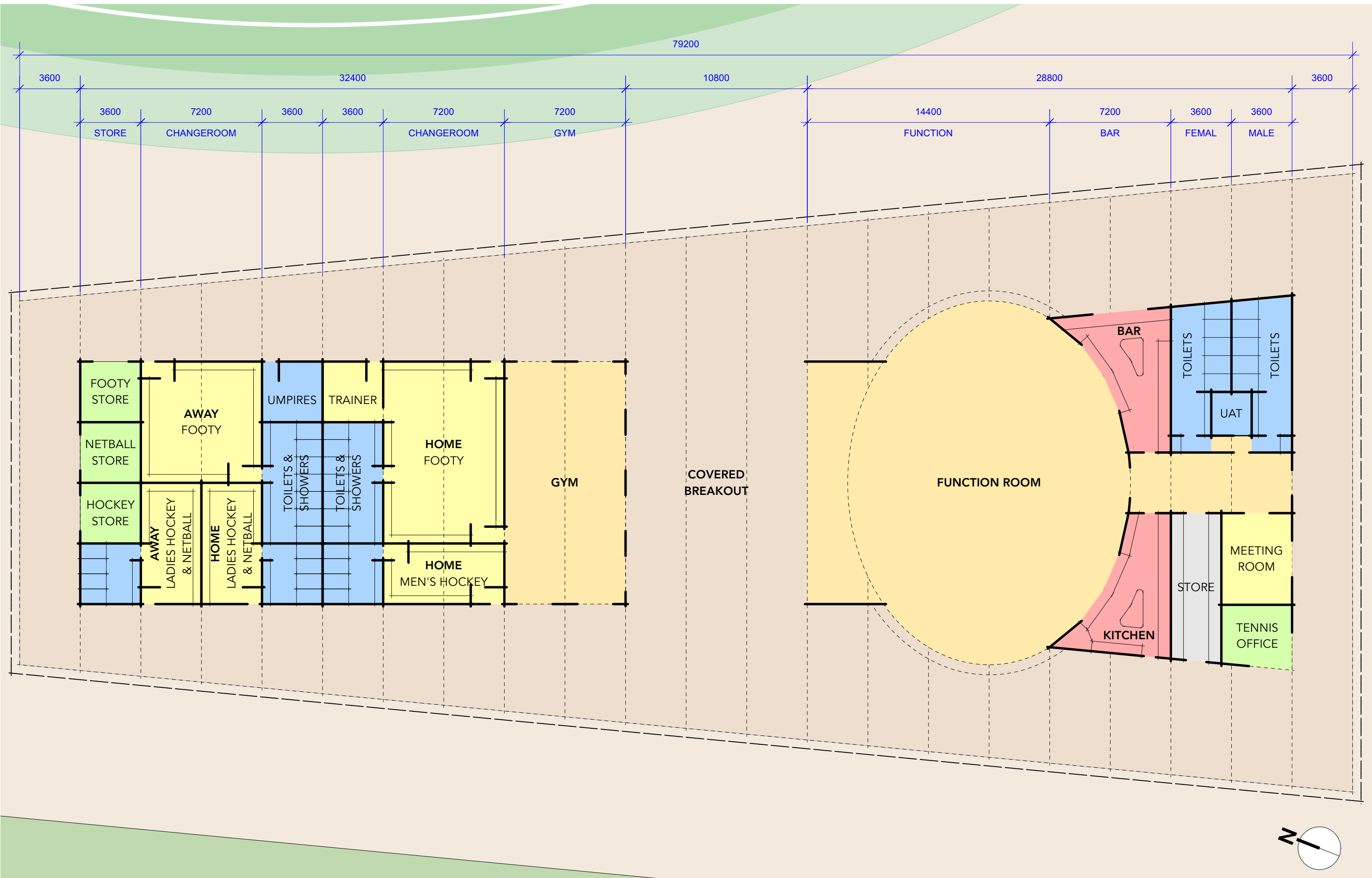
DESIGN DRAWING ONLY  
NOT FOR CONSTRUCTION  
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ELEMENT	AREA (m <sup>2</sup> )
New Conc Verandah	1280
New Roof	2300
Changeroom Building	466
- Changerooms	220
- Wet areas	105
- Gym	105
- Store	36
Function Building	500
- Toilets	60
- Bar & Kitchen	60
- Function Room	330
- Offices	35
- Store	15
TURFED BANK	1800



The background features abstract, overlapping green geometric shapes in various shades of green, creating a modern and dynamic feel. The shapes are primarily triangular and polygonal, with some areas appearing more translucent than others.

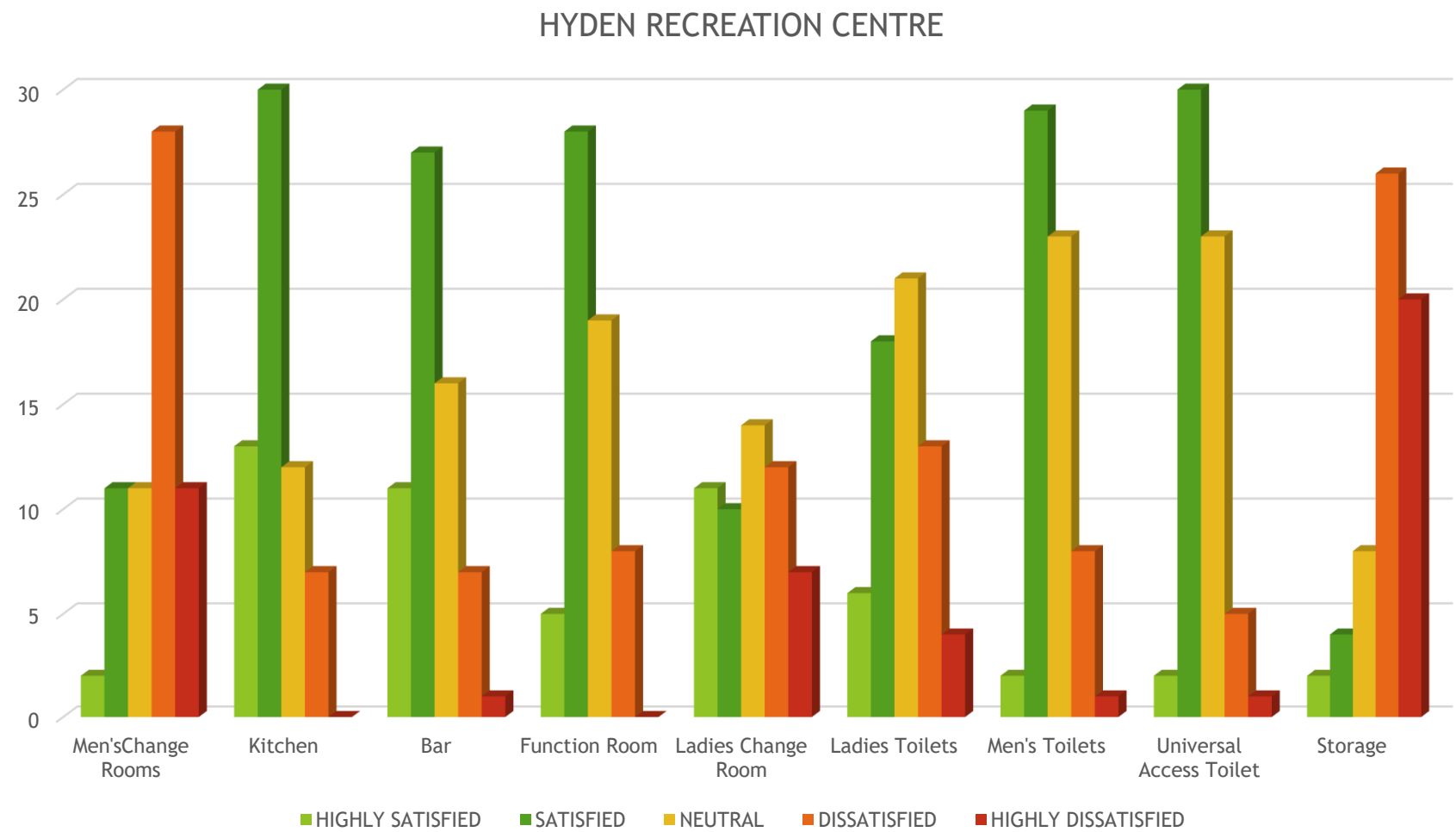
# HYDEN RECREATION PRECINCT PRESENTATION

Community Meeting 18<sup>th</sup> October 2022

# Hyden Recreation Building - Overview

- First constructed 1980
- Stage 1 renovations undertaken in 2016 replacing roof, enlarging and upgrading the bar and kitchen area, installation of a Universal Access Toilet and extending and upgrading the men's toilets and ladies toilets and change rooms
- Stage 2 of the renovations were to be undertaken at a later date to include a gym, new home and away change rooms and improved storage space
- Architects engaged in 2019 to prepare plans for the Stage 2 renovation / extension and associated engineering documentation and costings
- Various meetings have been held to finalise scope for extension however consensus not yet reached
- Survey undertaken in October 2022 in response to decision to seek greater community feedback prior to finalising scope

# Hyden Recreation Building - Survey Results





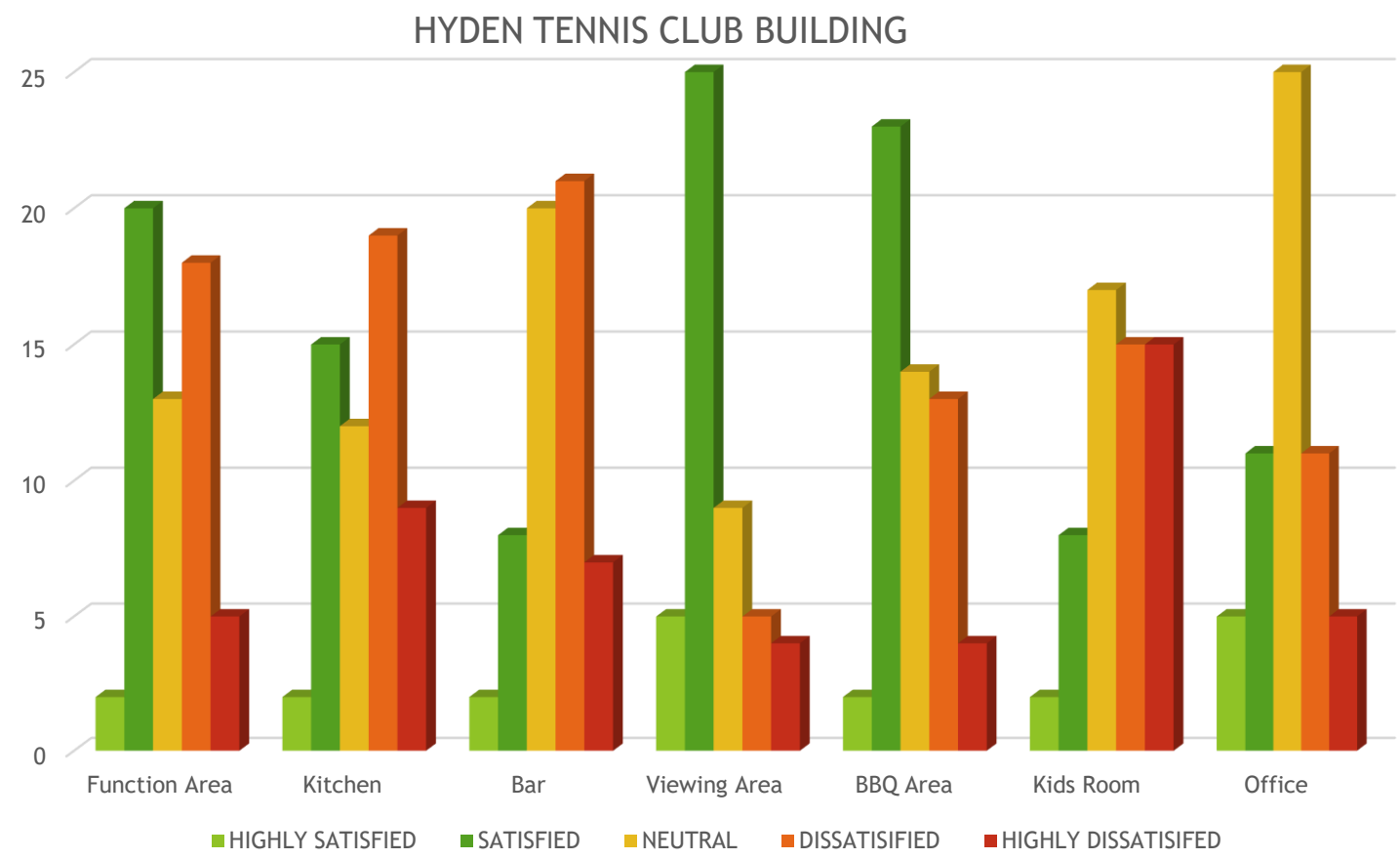
# Hyden Recreation Building - Survey Results

- Majority of respondents dissatisfied with the Men's Change Rooms
- Majority of respondents satisfied with the Kitchen
- Majority of respondents satisfied with the Function Room
- Majority of respondents satisfied with the Bar Area
- No clear majority of opinion on the Ladies Change Room with 'neutral' receiving the highest response
- No clear majority of opinion on the Ladies Toilets with 'neutral' receiving the highest response
- Most respondents were either satisfied or neutral with the Men's Toilets
- Most respondents were either satisfied or neutral with the Universal Access Toilet
- Majority of respondents dissatisfied with the Storage Space
- **BASED ON SURVEY FEEDBACK MEN'S CHANGE ROOMS, LADIES CHANGE ROOMS/TOILETS AND STORAGE SPACE KEY ELEMENTS TO BE CONSIDERED IN ANY RENOVATION / EXTENSION / NEW BUILD**

# Hyden Tennis Club Building - Overview

- First constructed 1978
- Renovations and additions carried out in 1998 and patio extension in 2012
- A new roof is currently proposed over building and Shire waiting on engineering plans to seek quotations
- New tennis court resurfacing for all 8 courts and dedicated hot shots courts at hit up wall proposed for April 2023

# Hyden Tennis Club Building - Survey Results

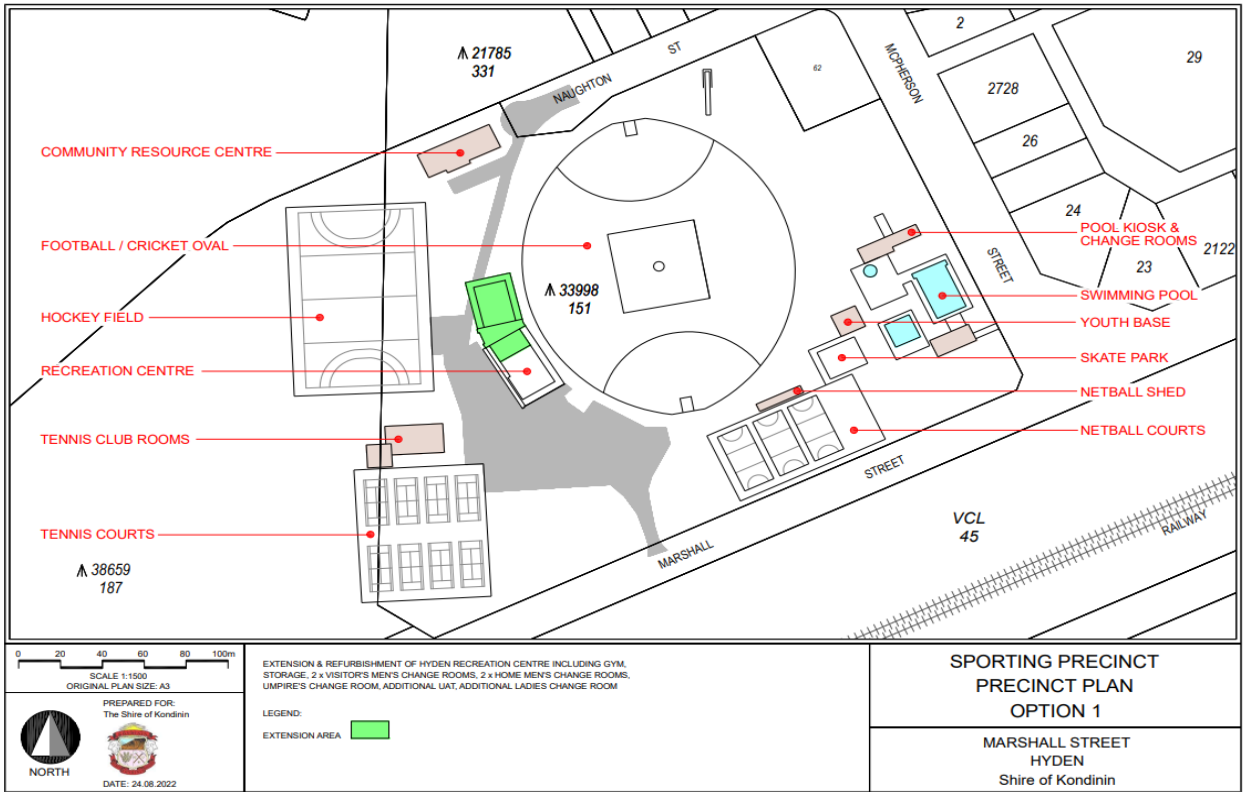


# Hyden Tennis Club Building- Survey Results

- Most respondents were satisfied with the Function Room with many not satisfied
  - Majority of respondents dissatisfied with the Kitchen Area
  - Most respondents either neutral or dissatisfied with the Bar Area
  - Majority of respondents satisfied with the Viewing Area
  - Majority of respondents satisfied with the BBQ Area
  - Most respondents were neutral dissatisfied or very dissatisfied with the Kids Room
  - Majority of respondents neutral about the office
- 
- BASED ON SURVEY FEEDBACK KIDS ROOM, FUNCTION ROOM & BAR KEY AREAS OF CONSIDERATION IN ANY RENOVATION / EXTENSION / NEW BUILD

# Option 1 - Extension To Existing Recreation Centre

Extend the existing Hyden Sports Pavilion comprising a gymnasium, storage space, umpires change rooms, Universal Access Toilet (UAT), visitors and home change rooms and additional ladies change rooms (estimated cost is \$3,000,000)



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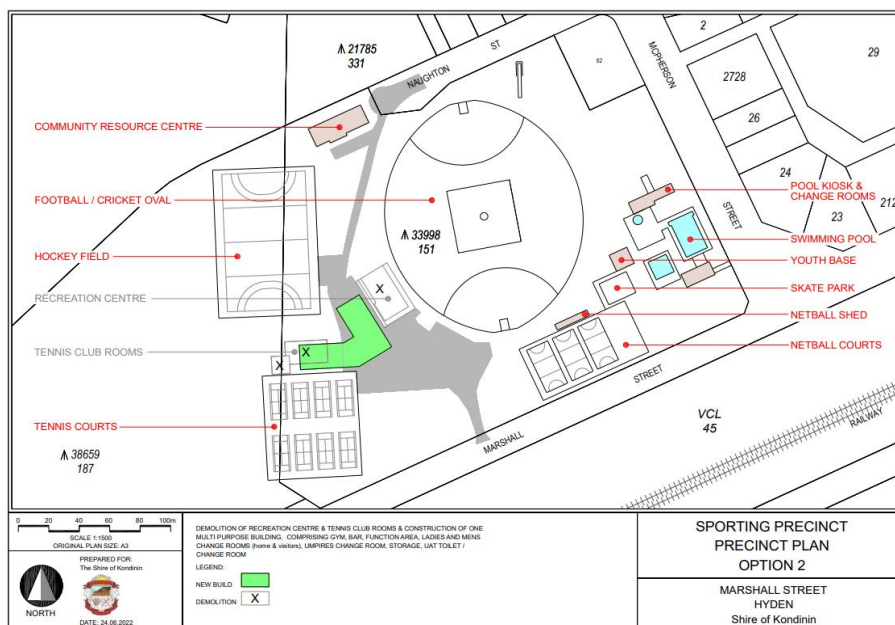
# Survey Comments in Support of Option 1

- With diminishing sporting club numbers and population basic upgrades to current facilities is suffice
- Ladies change rooms more than adequate for one day sport
- Storage space a priority that needs to be addressed
- Work with the existing building to make it accommodate more sports in the precinct
- Don't make Sports Pavilion too big making Town Hall obsolete
- Concern of overrun on costing as population decreasing
- Need to consider realistic options that can afford
- Some buildings in Sports Precinct (e.g. Youth Base and CRC were grant led rather than what the community wanted and therefore use and position were not thought through - don't make this mistake again).
- Would like to see a survey done on who would actually use the gym
- Upgrade the Men's Change Rooms and Storage Space - the remainder of the building is more than adequate for the size of our small communities
- Upgrades to the Men's Change Rooms is all that is required to this building with money better spent on upgrading pool building
- A lot of money was spent on the Hyden Sports Pavilion back in 2016 and therefore what is the point of now demolishing this building
- Option 1 is only fiscal responsible option due to potential significant rate rises and the degree that will compromise money being spent on core business such as roads



# Option 2 - Construct New Multi-Purpose Building

Demolish the existing Hyden Sports Pavilion and Tennis Club Building and construct a purpose-built Recreation Pavilion that is positioned to accommodate all playing surfaces within the Hyden Recreation Precinct comprising a gym, umpires change rooms, Universal Access Toilet (UAT), visitors and home men's change rooms, visitor and home ladies change rooms, men's and ladies toilets, kitchen, bar, function area, office and storage space (estimated to cost between \$7,000,000 and \$9,000,000).



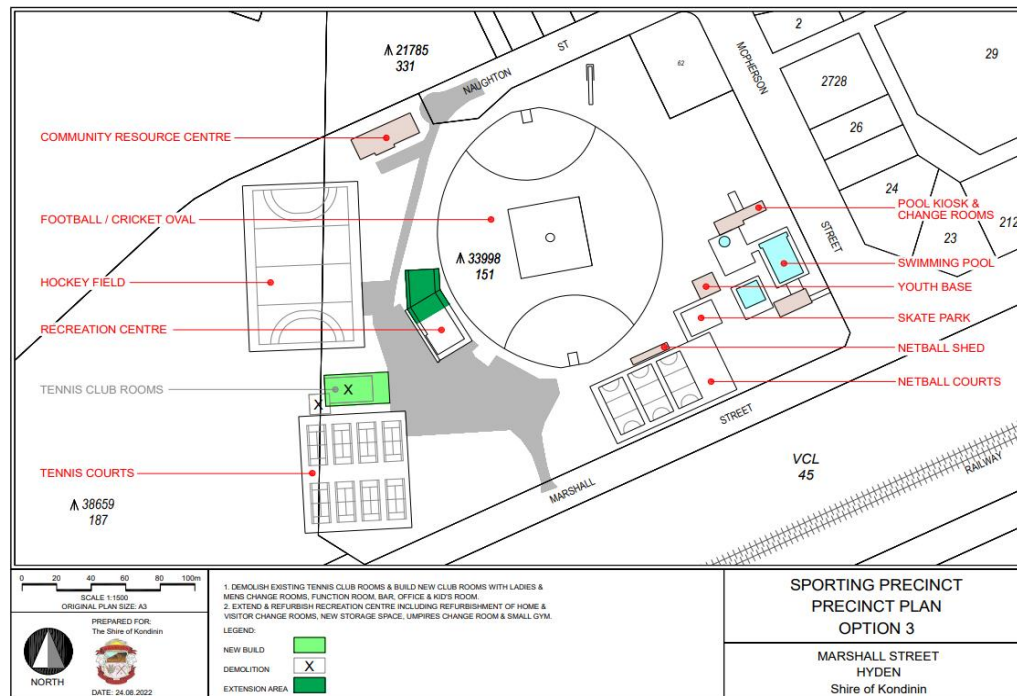


# Survey Comments in Support of Option 2

- A whole new building should've been constructed years ago
- Recommend a multi-purpose new building with a gym that incorporates more than just standard summer and winter sports
- 24 Hour Gym like in Perth
- Costings are outrageous and used to put community off
- Build a new building with a netball / basketball and squash courts and associated provision for bowling green making it a fully inclusive sporting area
- Consider a bar with a club licence
- Recreation Centre and Visitor Centre to be co-located
- Building costs only going to increase - need to make a decision on what community needs and proceed
- If keep on undertaking extensions will come back to the same issues therefore start again so can ensure that the community gets a building that has everything the community requires for sport, fitness and mental health and well being that is for all age groups and beyond one day sport

# Option 3 - Demolish Tennis Club and Undertaken Basic Extensions to Recreation Centre

Demolish the Tennis Club building and construct a new purpose-built Tennis Club Building that accommodates a bar, function area, office, ladies and men's change rooms that can be co-shared with winter sports and undertake a modest extension to the Hyden Sports Pavilion comprising upgrades to the men's home and visitor change rooms, additional storage space, an umpires change room and a small gymnasium (estimated could cost between \$5,000,000 and \$8,000,000).



# Survey Comments in Support of Option 3

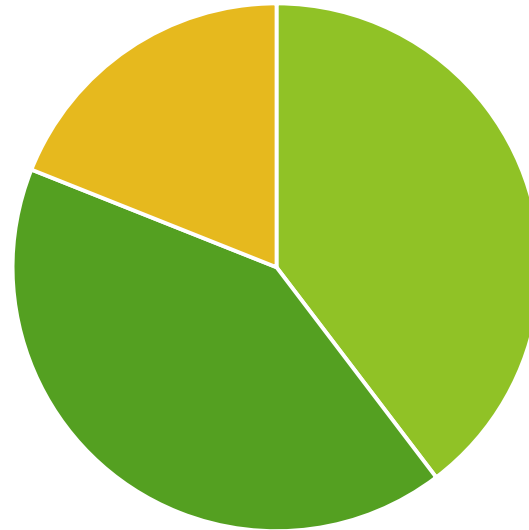
- Important that there is toilets at the Tennis Courts as it is currently unsafe to have children crossing over the car park
- Possible structural issues with the kids room at tennis building as kitchen wall and door moving
- Tennis Club Building is a disgrace and needs to be demolished
- Most people would be unaware of significant issues with the tennis club building.
- Tennis Club building needs a roof ASAP
- Tennis Club building will require a re-build in 5 to 10 years
- Tennis Club in serious state of disrepair that needs to be addressed
- Ramp into tennis club area not very accessible

# General Survey Comments

- There is more to a town than sports clubs - spend the money elsewhere for a change
- User should pay for renovations and maintenance and should not all be coming from farm rate payers across the Shire
- Community should be expected to contribute greater funds towards the project like other capital projects undertaken in the Shire
- Recommend discussions with Karlgarin Bowling Club to be relocated to Hyden
- Survey should be done on a gym and who will actually use a gym before proceeding
- Youth Base converted to a gym
- Concern over impost on Shire rate payers and long term financial hardship
- Seems a lot of money to spend on a Recreation Building
- Population only going to remain or reduce questioning why need such large facilities considering how much they are used
- Community needs a Tourist Centre before spending millions on a new Rec Centre
- Not enough detail in survey to make an informed decision. Recommend that each option is fully costed before a decision is made.
- Whilst it might seem that Hyden has sufficient facilities to cater for a small population, the condition and functionality do not cater for current and future needs of the community

# Survey Option Results

OPTION BREAKDOWNS



■ Option 1 ■ Option 2 ■ Option 3

Option 1 - 23 respondents  
Option 2 - 24 respondents  
Option 3 - 11 respondents

# Summary

- ▶ Option 1 and 2 were the preferred options selected by respondents
- ▶ Shire of Kondinin have estimated that can contribute up to \$1.5M of cash towards the project over 2 years with any greater contribution requiring loan funding
- ▶ Loan funding would be subject to approval with greater than \$1M uncertain
- ▶ CSRFF Grant allows up to 1/3 of project cost (eligible elements) with a total of \$2M
- ▶ The Hyden Sports Council have advised that can contribute \$50,000 towards the Project
- ▶ A final scope for the project and a commitment of funding from the Hyden community will be required to enable the Shire to work in partnership with the Hyden Sports Council to complete the Project
- ▶ A mixture of feedback was received through the surveys, the most consistent messages being the importance of upgrading the men's change rooms and storage space at the Recreation Centre, the importance of matching the needs of the community, the poor state of the Hyden Tennis Club building in general and concern over costings to the Shire in the long term.
- ▶ Possibility to ask architects to develop concept and prepare costings for Option 2 before a final decision is made on the scope.



# **Wilde and Woollard**

**Hyden Recreation Centre**

**AT**

**38 Marshall Street  
Hyden WA 6359**

**Opinion of Probable Cost (DRAFT)**

**Slavin Architects  
Architect  
1c Pearse Street  
North Fremantle WA 6159**

**Wilde and Woollard (WA)  
Cost Consultants & Quantity Surveyors  
Unit 1, 1008 Wellington Street  
West Perth, WA 6005**

*26 August 2020*

## SUMMARY

**PROJECT:** Wilde and Woollard**DETAILS:** Opinion of Probable Cost (DRAFT)**BUILDING:** Hyden Recreation Centre

Code	Scope Of Work	Total Cost
	Recreation Centre	2,457,677
	NOTE: ALL COSTS EXCL. GST	
ANTICIPATED TOTAL PROJECT COST		2,457,677



# REPORT DETAILS

**PROJECT:** Wilde and Woollard

**DETAILS:** Opinion of Probable Cost (DRAFT)

**BUILDING:** Hyden Recreation Centre

Item	Item Description	Quantity	Unit	Rate	Amount
<b>Recreation Centre</b>					
	<b><u>SITE PREPARATIONS</u></b>				
1	Allow for site preparation		Item		15,000
2	Provision for excavation in rocks		Excl.		Excluded
	<b><u>DEMOLITIONS AND ALTERATIONS</u></b>				
	<u>General Items</u>				
3	Allow for the removal of asbestos related materials found on site		Excl.		Excluded
4	Allow for temporary partitions / barrier if necessary		Item		5,000
5	Allow for removal of sundry items prior to commencing the demolition works		Item		3,500
	<u>Whole Structure</u>				
6	Demolish existing shed		Item		2,900
	<u>Walls and Partitions</u>				
7	Demolish internal walls	162	m2	40.00	6,480
	<u>Windows and Doors</u>				
8	Remove windows	5	m2	55.00	275
9	Remove single door and frame	2	No.	75.00	150
10	Remove double door and frame	2	No.	120.00	240
	<u>Finishes</u>				
11	Strip off existing finishes to floor & ceiling	157	m2	45.00	7,065
	<u>External Works</u>				
12	Remove existing retaining walls		Item		990
	<u>Generally</u>				
13	Allow for general making good all works disturbed by the demolitions and alterations		Item		1,400
	<b><u>NEW WORKS</u></b>				
14	Gym	123	m2	1,070.00	131,610
15	E.O Gym equipment & furniture		Excl.		Excluded
16	Changeroom	93	m2	1,720.00	159,960
17	Toilet	52	m2	2,020.00	105,040
18	Store	44	m2	450.00	19,800
19	Extension to time keep box	11	m2	2,079.00	22,869

# REPORT DETAILS

**PROJECT:** Wilde and Woollard

**DETAILS:** Opinion of Probable Cost (DRAFT)

**BUILDING:** Hyden Recreation Centre

Item	Item Description	Quantity	Unit	Rate	Amount
<b>Recreation Centre</b>					(Continued)
20	Existing - Visitors	83	m2	970.00	80,510
21	Existing - Toilets	28	m2	1,270.00	35,560
22	Existing - Store	22	m2	150.00	3,300
23	Existing - Kid rooms	24	m2	970.00	23,280
	<u>Roof Level</u>				
24	Roof structure & Roof covering & Soffit lining	789	m2	490.00	386,610
	<u>Engineering Services</u>				
25	Hydraulics Services		Item		75,700
26	Distribution board		Item		10,000
27	Electrical services		Item		142,000
28	Air Conditioning		Item		65,000
29	Ventilation		Item		43,700
30	Fire protection		Item		8,000
31	Builder's Works in connection with services		Item		17,300
	<b><u>EXTERNAL WORKS</u></b>				
32	Provision for paving	369	m2	65.00	24,003
33	Provision for landscaping & reticulation	150	m2	60.00	9,000
34	Provision for ramp & balustrades		Item		15,500
35	Provision for retaining wall & external walls		Item		13,800
	<b><u>EXTERNAL SERVICES</u></b>				
36	Provision for sewerage		Item		4,000
37	Provision for cold water supply		Item		4,000
38	Provision for fire services		Item		7,000
39	Provision for gas supply		Excl.		0
40	Provision for storm water drainage		Item		22,000
	<u>External Electrical Services</u>				
41	Power conduits and pit systems		Item		6,000
42	Power upgrade		Excl.		Excluded
43	Builder's work		Item		600

# REPORT DETAILS

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**BUILDING:** Hyden Recreation Centre

Item	Item Description	Quantity	Unit	Rate	Amount
<b>Recreation Centre</b>					<i>(Continued)</i>
	<b><u>ON COST</u></b>				
44	Preliminaries, 15%		Item		222,000
45	Design Contingency, 10%		Item		171,000
46	Contract Contingency, 5%		Item		94,000
	<b>ESTIMATED TOTAL BUILDING COST IN PERTH</b>		<b>\$\$</b>		<b>1,966,142</b>
47	Locality Allowance, 25%	1,966,142	Item	0.25	491,535
	<b>ESTIMATED TOTAL BUILDING COST IN HYDEN</b>		<b>\$\$</b>		<b>2,457,677</b>
48	Escalation		Excl.		Excluded
49	GST		Excl.		Excluded
50	Professional Fees		Excl.		Excluded
51	Furniture & Equipment		Excl.		Excluded
<b>Recreation Centre TOTAL</b>					<b>2,457,677</b>



# Hyden Recreation Centre

Proposed Re-development Work

At

38 Marshall Street  
Hyden, WA 6359

**Opinion of Probable Cost - July 2022**

Slavin Architects Pty Ltd  
Architect  
1C, Pearse Street  
North Fremantle, WA 6159

Wilde and Woollard (WA)  
Cost Consultants & Quantity Surveyors  
Unit 1, 1008 Wellington Street  
West Perth, WA 6005

*04 July 2022*

## SUMMARY

**PROJECT:** Hyden Recreation Centre**DETAILS:** Opinion of Probable Cost - July 2022**BUILDING:** Proposed Re-development Work

Code	Scope Of Work	Total Cost
RC	Recreation Centre	3,313,801
NOTE: ALL COSTS EXCL. GST		
ANTICIPATED TOTAL PROJECT COST		3,313,801

# REPORT DETAILS

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**BUILDING:** Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
<b>RC Recreation Centre</b>					
	<b><u>SITE PREPARATIONS</u></b>				
1	Allow for site preparation		Item		22,000
2	Provision for excavation in rocks		Excl.		Excluded
	<b><u>DEMOLITIONS AND ALTERATIONS</u></b>				
	<b><u>General Items</u></b>				
3	Allow for the removal of asbestos related materials found on site		Excl.		Excluded
4	Allow for temporary partitions / barrier if necessary		Item		5,000
5	Allow for removal of sundry items prior to commencing the demolition works		Item		3,500
	<b><u>Whole Structure</u></b>				
6	Demolish existing shed		Item		2,900
	<b><u>Walls and Partitions</u></b>				
7	Demolish internal walls	162	m2	45.00	7,290
	<b><u>Windows and Doors</u></b>				
8	Remove windows	5	m2	65.00	325
9	Remove single door and frame	2	No.	100.00	200
10	Remove double door and frame	2	No.	120.00	240
	<b><u>Finishes</u></b>				
11	Strip off existing finishes to floor & ceiling	157	m2	45.00	7,065
	<b><u>External Works</u></b>				
12	Remove existing retaining walls		Item		990
	<b><u>Generally</u></b>				
13	Allow for general making good all works disturbed by the demolitions and alterations		Item		1,400
	<b><u>NEW WORKS</u></b>				
14	Gym	123	m2	1,580.00	194,340
15	E.O Gym equipment & furniture		Excl.		Excluded
16	Change room	93	m2	2,540.00	236,220
17	Toilet	52	m2	2,540.00	132,080
18	Store	44	m2	910.00	40,040

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**BUILDING:** Proposed Re-development Work

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<b>RC</b>	<b>Recreation Centre</b>				
					(Continued)
19	Extension to time keep box	11	m2	2,805.00	30,855
20	Existing - Visitors	83	m2	970.00	80,510
21	Existing - Toilets	28	m2	1,500.00	42,000
22	Existing - Store	22	m2	360.00	7,920
23	Existing - Kid rooms	24	m2	970.00	23,280
	<u>Roof Level</u>				
24	Roof structure & Roof covering & Soffit lining	789	m2	550.00	433,950
	<u>Engineering Services</u>				
25	Hydraulics Services		Item		78,250
26	Distribution board		Item		18,000
27	Electrical services		Item		178,000
28	Air Conditioning		Item		65,000
29	Ventilation		Item		45,700
30	Fire protection		Item		8,000
31	Builder's Works in connection with services		Item		19,700
	<u>EXTERNAL WORKS</u>				
32	Provision for paving	369	m2	65.00	24,003
33	Provision for landscaping & reticulation	150	m2	60.00	9,000
34	Provision for ramp & balustrades		Item		15,500
35	Provision for retaining wall & external walls		Item		16,200
	<u>EXTERNAL SERVICES</u>				
36	Provision for sewerage		Item		5,000
37	Provision for cold water supply		Item		4,450
38	Provision for fire services		Item		8,000
39	Provision for gas supply		Excl.		0
40	Provision for storm water drainage		Item		22,000
	<u>External Electrical Services</u>				
41	Power conduits and pit systems		Item		6,000
42	Power upgrade		Excl.		Excluded

# REPORT DETAILS

**PROJECT:** Hyden Recreation Centre

**DETAILS:** Opinion of Probable Cost - July 2022

**BUILDING:** Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
<b>RC</b>	<b>Recreation Centre</b>				<i>(Continued)</i>
43	Builder's work		Item		600
	<b><u>ON COST</u></b>				
44	Preliminaries, 15%		Item		270,000
45	Design Contingency, 10%		Item		207,000
46	Contract Contingency, 5%		Item		114,000
	<b>ESTIMATED TOTAL BUILDING COST IN PERTH</b>		<b>\$\$</b>		<b>2,386,508</b>
47	Locality Allowance, 25%	2,386,508	Item	0.25	596,627
	<b>ESTIMATED TOTAL BUILDING COST IN HYDEN</b>		<b>\$\$</b>		<b>2,983,134</b>
48	Escalation (based on Construction start January 2024)		Item		330,666
49	GST		Excl.		Excluded
50	Professional Fees		Excl.		Excluded
51	Furniture & Equipment		Excl.		Excluded
<b>Recreation Centre TOTAL</b>					<b>3,313,801</b>







**SLAVIN ARCHITECTS PTY LTD**  
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SHIRE OF  
**KONDININ**

## Hyden Recreation Centre Redevelopment for the Shire of Kondinin

**A102-2**  
 OPTION 2  
 1:1000



## West Coast Estimating

30 Parker St  
Bassendean WA 6054  
A.B.N.  
Phone: 0403417627

# Estimate Costs and Prices

Cost Excludes  
GST  
Price Includes  
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

### 1 Consultants

#### Consultants

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	For BAL, energy efficiency, engineering etc	0.00	1.00	Each		
1 Consultants Totals:					0.00	0.00

### 2 Preliminaries

#### Preliminaries

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Fees Training Fund	Training Levy Fund .20% Total Cost (CTF)	1,200,000.00	0.20	%	2,400.00	2,400.00
Building Levy	Building Services Levy .137%	1,200,000.00	0.14	%	1,644.00	1,644.00
Building Permit	Building Permit Fees Uncertified .32%	1,200,000.00	0.32	%	3,840.00	3,840.00
Footpath Deposit	Footpath/Kerb/Crossover Deposit - no allowance	0.00	0.00	Each		
No Allowance	No allowance for synergy or western power fees	0.00	1.00	Each		
No Allowance	For planning fees	0.00	1.00	Each		
No Allowance	No Allowance for water corporation fees	0.00	1.00	Each		
2 Preliminaries Totals:					7,884.00	7,884.00

### 3 Insurances

#### Insurances

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Indemnity Insurance	Indemnity Insurance/Builders Warranty	8,000.00	1.00	Each	8,000.00	8,800.00
Contract Works	Contract Works,Builders Com Insurance (.65% Of Contract)	1,100,000.00	0.65	%	7,150.00	7,865.00
3 Insurances Totals:					15,150.00	16,665.00

### 4 Repeg/set out

#### Repeg & set out

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Not Required	Not Required	0.00	1.00	Each		
4 Repeg/set out Totals:					0.00	0.00

### 5 Demolition

#### Demolition

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Hire 10m3 Bin	Hire 10m3 Bin	550.00	15.00	Each	8,250.00	9,075.00

# Estimate Costs and Prices

Cost Excludes  
GST  
Price Includes  
GST

Estimate	7149					Cost Per m2
Description	ORA - Kondinin Pavillion					\$0.00
Client	Office of Regional Architecture					Price Per m2
Site	44 Gordon St, Kondinin WA					\$0.00
Hire Bobcat	Bobcat Hire	120.00	8.00	Hour	960.00	1,056.00
Sundry Items.	Sundry Items, plumbing and electrical disconnections	3,000.00	1.00	Each	3,000.00	3,300.00
Labour (1)(1)	Remove entire roof	600.00	12.00	Day	7,200.00	7,920.00
Labour (1)(1)	Remove windows and doors	600.00	4.00	Day	2,400.00	2,640.00
Labour (1)(1)	Sundry items	600.00	5.00	Day	3,000.00	3,300.00
Labour (1)(1)	Remove carpets	600.00	2.00	Day	1,200.00	1,320.00
Labour (1)(1)	Remove brickwork	600.00	4.00	Day	2,400.00	2,640.00
Labour (1)(1)	Remove all plumbing fixtures, benches	600.00	2.00	Day	1,200.00	1,320.00
Labour (1)(1)	Remove all cabinetry	600.00	3.00	Day	1,800.00	1,980.00
Labour (1)(1)	Assist to break up external concrete	600.00	2.00	Day	1,200.00	1,320.00
Remove Tiles.	Remove And Dispose Of Wall & Floor Tiles	40.00	120.00	m2	4,800.00	5,280.00
5 Demolition Totals:					37,410.00	41,151.00

## 6 Asbestos removal

### Asbestos removal

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum - if any ??	5,000.00	1.00	Each	5,000.00	5,500.00
6 Asbestos removal Totals:					5,000.00	5,500.00

## 7 Earthworks

### Earthworks

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	3,000.00	1.00	Each	3,000.00	3,300.00
7 Earthworks Totals:					3,000.00	3,300.00

## 8 Soil Stabilisation

### Soil stabilisation

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
8 Soil Stabilisation Totals:					0.00	0.00

## 9 Temporary Fencing

### Temporary fencing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	3,000.00	1.00	Each	3,000.00	3,300.00
9 Temporary Fencing Totals:					3,000.00	3,300.00

## 10 Site Hire

### Site hire

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Brickies Scaffolding	Large Brickies Kit Includes Del & Pick	750.00	1.00	Each	750.00	825.00
Toile Hire Chemical	Chemical Toilet Hire Inc Clean Out	45.00	0.00	Week		
Site Shed Hire	Site Shed Hired Per Week	25.00	0.00	Week		

Estimate Costs and Prices

Cost Excludes  
GST  
Price Includes  
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

Shed & Toilet Del	Toilet & shed Delivery	100.00	0.00	Each		
Crane Allowance	Crane Allowance Inc Dogman	350.00	0.00	Hour		
10 Site Hire Totals:					750.00	825.00

11 Plumbing

Plumbing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Main plumbing work	25,000.00	1.00	Each	25,000.00	27,500.00
Provisional Sum	Connect into existing tanks - if any ??	5,000.00	1.00	Each	5,000.00	5,500.00
Note	Assumed existing septs are suitable	0.00	1.00	Each		
11 Plumbing Totals:					30,000.00	33,000.00

12 S & I concrete

S & I concrete

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Dig allowance	Dig allowance	150.00	4.00	Hour	600.00	660.00
Concrete Supply.	Concrete Supply	500.00	5.00	m3	2,500.00	2,750.00
Labour (1)(1)	Grano workers	750.00	2.00	Day	1,500.00	1,650.00
SL 62 Mesh	SL62 Mesh	100.00	2.00	Sheet	200.00	220.00
Deliver Reo	Deliver Reo	500.00	1.00	Each	500.00	550.00
Sundry Items.	Sundry Items/unforseens	1,000.00	1.00	Each	1,000.00	1,100.00
Pump Hire	Concrete Pump Hire - may not be required	1,500.00	1.00	Each	1,500.00	1,650.00
Note	Assumptions made - subject to engineering drawings	0.00	1.00	Each		
12 S & I concrete Totals:					7,800.00	8,580.00

13 Sprinkler System

Sprinkler System

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
13 Sprinkler System Totals:					0.00	0.00

14 Termite treatment

Termite treatment

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	1,000.00	1.00	Each	1,000.00	1,100.00
14 Termite treatment Totals:					1,000.00	1,100.00

15 Steelwork

Steelwork

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	S & I structural steel	25,000.00	1.00	Each	25,000.00	27,500.00
15 Steelwork Totals:					25,000.00	27,500.00

16 Steel door frames

Steel door frames

# Estimate Costs and Prices

Cost Excludes  
GST  
Price Includes  
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Cost	Supply steel door frames - single	350.00	8.00	Each	2,800.00	3,080.00
Cost	Supply steel door frames - double	400.00	2.00	Each	800.00	880.00
Delivery	Delivery Of Materials	300.00	1.00	Each	300.00	330.00
16 Steel door frames Totals:					3,900.00	4,290.00

## 17 Timber joinery

### Timber joinery

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
17 Timber joinery Totals:					0.00	0.00

## 18 Aluminium Joinery

### Aluminium joinery

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	65,000.00	1.00	Each	65,000.00	71,500.00
18 Aluminium Joinery Totals:					65,000.00	71,500.00

## 19 Brickwork

### Brickwork

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Verticlays	Verticlays	1,000.00	1,104.00	Qty	1,104.00	1,214.40
Labour Verticlays	Labour To Lay Verticlays	3,000.00	1,104.00	Qty	3,312.00	3,643.20
St Face Bricks	St Face Bricks - prime cost	1,000.00	1,584.00	Qty	1,584.00	1,742.40
Labour St Face	Labour To Lay St Face	3,000.00	1,584.00	Qty	4,752.00	5,227.20
Cost	Face brick clean	750.00	1.00	Each	750.00	825.00
Brick Sand 9m3	Brick Sand 9m3	700.00	1.00	Each	700.00	770.00
Cement Brickies Grey	Brickies Grey 17.85kg	10.00	20.00	Bag	200.00	220.00
Cement Brickies Lite	Brickies Lite 17.85kg	11.00	20.00	Bag	220.00	242.00
Hardware	Straps, Dampco, Flashing, Wire Ties	1,000.00	1.00	Each	1,000.00	1,100.00
Cost	Brick cartage	1,200.00	1.00	Each	1,200.00	1,320.00
Labour (1)(1)	Brick and labourer - sundry	1,200.00	2.00	Day	2,400.00	2,640.00
19 Brickwork Totals:					17,222.00	18,944.20

## 20 Stud walls

### Stud walls

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Wall Frame material	Supply stud wall framing material	50.00	175.00	m2	8,750.00	9,625.00
Labour (1)(1)	Fabricate and stand stud walls	600.00	7.00	Day	4,200.00	4,620.00
20 Stud walls Totals:					12,950.00	14,245.00

## 21 Roof

### Roof

# Estimate Costs and Prices

Cost Excludes  
GST  
Price Includes  
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Supply Of Trusses	Supply Of Trusses & Hardware	130.00	630.00	m2	81,900.00	90,090.00
Roof Labour M2	Roof Labour M2 All In Rate	60.00	630.00	m2	37,800.00	41,580.00
Delivery	Delivery Of Materials	1,500.00	1.00	Each	1,500.00	1,650.00
21 Roof Totals:					121,200.00	133,320.00

## 22 Roof PlumbingRoof plumbing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Roof Plumbing(1)	S & I Of CB Sheets, Gutters, Downpipes, Flashings, Gshield	150.00	630.00	m2	94,500.00	103,950.00
22 Roof Plumbing Totals:					94,500.00	103,950.00

## 23 S & I claddingS & I cladding

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
S & I Wall Cladding	S & I CB Wall Cladding - PS - material unknown	150.00	135.00	m2	20,250.00	22,275.00
23 S & I cladding Totals:					20,250.00	22,275.00

## 24 SkylightsSkylights

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
24 Skylights Totals:					0.00	0.00

## 25 ScaffoldingScaffolding

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	30,000.00	1.00	Each	30,000.00	33,000.00
25 Scaffolding Totals:					30,000.00	33,000.00

## 26 ElectricalS & I Electrical

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Main electrical work inc light fittings	35,000.00	1.00	Each	35,000.00	38,500.00
26 Electrical Totals:					35,000.00	38,500.00

## 27 PlasteringPlastering

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Plastering work	6,000.00	1.00	Each	6,000.00	6,600.00
27 Plastering Totals:					6,000.00	6,600.00

## 28 Ceiling FixerCeiling fixer

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
R4.0 Batts	R4.0 Batts, Supplied & Installed To Ceilings	20.00	310.00	m2	6,200.00	6,820.00



# Estimate Costs and Prices

Cost Excludes  
GST  
Price Includes  
GST

Estimate	7149					Cost Per m2
Description	ORA - Kondinin Pavillion					\$0.00
Client	Office of Regional Architecture					Price Per m2
Site	44 Gordon St, Kondinin WA					\$0.00
S & I suspended tile	S & I suspended tiling system To all ceilings	75.00	310.00	m2	23,250.00	25,575.00
Ceiling Fixer S (3)	To S & I Plasterboard To Walls	50.00	50.00	m2	2,500.00	2,750.00
S & I Villaboard	S & I Villaboard - store lining	70.00	20.00	m2	1,400.00	1,540.00
28 Ceiling Fixer Totals:					33,350.00	36,685.00

## 29 Supply Doors

### Supply Doors

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Supply all doors	2,500.00	1.00	Each	2,500.00	2,750.00
29 Supply Doors Totals:					2,500.00	2,750.00

## 30 Door Hardware

### Door Hardware

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Cost	Supply of door hardware	4,000.00	1.00	Each	4,000.00	4,400.00
30 Door Hardware Totals:					4,000.00	4,400.00

## 31 Mouldings

### Mouldings

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Supply of mouldings to match existing	1,500.00	1.00	Each	1,500.00	1,650.00
31 Mouldings Totals:					1,500.00	1,650.00

## 32 Fixing Carpentry

### Fixing Carpentry

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Labour (1)(1)	Fixing carpenter	600.00	10.00	Day	6,000.00	6,600.00
32 Fixing Carpentry Totals:					6,000.00	6,600.00

## 33 Site Cleans

### Site Cleans

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Bin Hire 10m3	Hire Of 10m3 Bin	550.00	10.00	Each	5,500.00	6,050.00
Labour (1)(3)(1)	On Site Labouring	60.00	100.00	Hour	6,000.00	6,600.00
Hire Bobcat	Bobcat Hire	120.00	15.00	Hour	1,800.00	1,980.00
33 Site Cleans Totals:					13,300.00	14,630.00

## 34 Cabinetry

### Cabinetry

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Kitchen cabinets. SS benches	45,000.00	1.00	Each	45,000.00	49,500.00
34 Cabinetry Totals:					45,000.00	49,500.00

## 35 Tiling

### Tiling

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Floor Tiles	Supply Of Floor Tiles	40.00	50.00	m2	2,000.00	2,200.00

# Estimate Costs and Prices

Cost Excludes  
GST  
Price Includes  
GST

Estimate	7149					Cost Per m2
Description	ORA - Kondinin Pavillion					\$0.00
Client	Office of Regional Architecture					Price Per m2
Site	44 Gordon St, Kondinin WA					\$0.00
Wall Tiles	Supply Of Wall Tiles - assumed quantity	40.00	50.00	m2	2,000.00	2,200.00
Grout & Access(1)	Grout & Access	15.00	100.00	m2	1,500.00	1,650.00
Tile Delivery	Deliver Tiles	500.00	1.00	Each	500.00	550.00
Labour Wall & Floor	Labour To Lay Wall And Floor Tiles	100.00	100.00	m2	10,000.00	11,000.00
Screeding Floor	Screed Floor Ready For Tiling	30.00	50.00	m2	1,500.00	1,650.00
Caulking Labour	Caulking Labour	1,000.00	1.00	Each	1,000.00	1,100.00
Sundry Items.	Sundry Items	1,000.00	1.00	Each	1,000.00	1,100.00
35 Tiling Totals:					19,500.00	21,450.00

36 Waterproofing	Waterproofing					
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Synthetic Rubber	Synthetic Rubber Waterproofing Floor Of Wet Areas	40.00	50.00	m2	2,000.00	2,200.00
Waterproof Shower	Waterproof Shower	350.00	4.00	Each	1,400.00	1,540.00
36 Waterproofing Totals:					3,400.00	3,740.00

37 Painting	Painting					
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Painting	30,000.00	1.00	Each	30,000.00	33,000.00
37 Painting Totals:					30,000.00	33,000.00

38 Washed aggregate	Washed aggregate					
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Washed Aggregate	Washed Aggregate Includes Mesh & Sealer PS	170.00	270.00	m2	45,900.00	50,490.00
38 Washed aggregate Totals:					45,900.00	50,490.00

39 Glazing	Glazing					
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Note	In cabinetry PS	0.00	1.00	Each		
39 Glazing Totals:					0.00	0.00

40 Appliances	Appliances					
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Supply hotplates, ovens and rangehoods	15,000.00	1.00	Each	15,000.00	16,500.00
Prime Cost	Supply dishwashers and fridges	10,000.00	1.00	Each	10,000.00	11,000.00
Install dishwasher	Install dishwasher and fridges	1,000.00	1.00	Each	1,000.00	1,100.00
Install Rangehood	Install Rangehoods	1,500.00	1.00	Each	1,500.00	1,650.00
40 Appliances Totals:					27,500.00	30,250.00

# Estimate Costs and Prices

Cost Excludes  
GST  
Price Includes  
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

41 Plumbing Fixtures		Plumbing fixtures				
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Plumbing fixtures to all wet areas and kitchen Inc change table, bench seat	20,000.00	1.00	Each	20,000.00	22,000.00
41 Plumbing Fixtures Totals:					20,000.00	22,000.00

42 Hot Water Unit		Hot water units				
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Supply hot water units	3,000.00	1.00	Each	3,000.00	3,300.00
Provisional Sum	Screen and gate to surrund HWU	2,500.00	1.00	Each	2,500.00	2,750.00
42 Hot Water Unit Totals:					5,500.00	6,050.00

43 Fencing		Fencing & gates				
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
43 Fencing Totals:					0.00	0.00

44 Floor coverings		Floor coverings				
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Commercial vinyl	Commercial vinyl flooring inc 150mm cove	100.00	115.00	m2	11,500.00	12,650.00
44 Floor coverings Totals:					11,500.00	12,650.00

45 Concrete Hardstand		Concrete hardstand				
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
45 Concrete Hardstand Totals:					0.00	0.00

46 Partitions		Partitions				
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	S & I partitions	1,250.00	7.00	Each	8,750.00	9,625.00
46 Partitions Totals:					8,750.00	9,625.00

47 Air conditioning		Air conditioning				
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisonal sum - to clubroom only	8,000.00	1.00	Each	8,000.00	8,800.00
47 Air conditioning Totals:					8,000.00	8,800.00

48 Roller door		Roller doors				
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Roller door, manual	2,000.00	1.00	Each	2,000.00	2,200.00

# Estimate Costs and Prices

Cost Excludes  
GST  
Price Includes  
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

48 Roller door Totals:	2,000.00	2,200.00
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## 49 Landscaping Landscaping hard

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
49 Landscaping Totals:					0.00	0.00

## 50 Provisional Sums Provisional sums

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance for fire shutters	0.00	1.00	Each		
Provisional Sum	S & I gate to bin store	1,500.00	1.00	Each	1,500.00	1,650.00
Provisional Sum	New benches to away change	4,000.00	1.00	Each	4,000.00	4,400.00
Provisional Sum	Security screens to home and away	5,000.00	1.00	Each	5,000.00	5,500.00
Provisional Sum	Power circuit requirements	60,000.00	1.00	Each	60,000.00	66,000.00
Provisional Sum	New septic	20,000.00	1.00	Each	20,000.00	22,000.00
Provisional Sum	Hot water units	5,000.00	1.00	Each	5,000.00	5,500.00
50 Provisional Sums Totals:					95,500.00	105,050.00

## 51 House Clean House Clean

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Labour (1)(3)(1)	Labour Per Hour	50.00	80.00	Hour	4,000.00	4,400.00
51 House Clean Totals:					4,000.00	4,400.00

## 52 Contingency Contingency

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Contingency	Contingency Amount including travel	35,000.00	1.00	Each	35,000.00	38,500.00
52 Contingency Totals:					35,000.00	38,500.00

## 53 Builders Fees Builders fees

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Builders Profit	Builders Profit 25%	850,000.00	25.00	%	212,500.00	233,750.00
53 Builders Fees Totals:					212,500.00	233,750.00

## 54 Maintainance Maintainance

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Maintenance	Maintenance Items At Defects Liability Period	6,000.00	1.00	Each	6,000.00	6,600.00
54 Maintainance Totals:					6,000.00	6,600.00

## 55 Hockey Changerooms Hockey changerooms

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
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# Estimate Costs and Prices

Cost Excludes GST

Price Includes GST

Estimate	7149					Cost Per m2
Description	ORA - Kondinin Pavillion					\$0.00
Client	Office of Regional Architecture					Price Per m2
Site	44 Gordon St, Kondinin WA					\$0.00
Wall Frame material	Supply stud wall framing material	50.00	30.00	m2	1,500.00	1,650.00
Labour (1)(1)	Fabricate and stand stud walls	600.00	2.00	Day	1,200.00	1,320.00
Provisional Sum	S & I partitions	1,250.00	5.00	Each	6,250.00	6,875.00
Provisional Sum	Plumbing fixtures	7,000.00	1.00	Each	7,000.00	7,700.00
Provisional Sum	Electrical work	3,000.00	1.00	Each	3,000.00	3,300.00
Provisional Sum	Plumbing work	10,000.00	1.00	Each	10,000.00	11,000.00
S & I Tiling	S & I Tiling Complete (Tiles & Labour)	150.00	30.00	m2	4,500.00	4,950.00
Waterproof Shower	Waterproof Shower	350.00	2.00	Each	700.00	770.00
Synthetic Rubber	Synthetic Rubber Waterproofing Floor Of Wet Areas	40.00	20.00	m2	800.00	880.00
S & I Concrete ((1)	S & I Concrete	700.00	4.00	m3	2,800.00	3,080.00
S & I Cladding	S & I Cladding - PS inc painting	180.00	30.00	m2	5,400.00	5,940.00
S & I suspended tile	S & I suspended tiling system	75.00	18.00	m2	1,350.00	1,485.00
Ceiling Fixer S (3)	To S & I Plasterboard To Walls inc insulation	50.00	50.00	m2	2,500.00	2,750.00
Provisional Sum	Painting	1,500.00	1.00	Each	1,500.00	1,650.00
Provisional Sum	S & I entry door and windows complete	4,000.00	1.00	Each	4,000.00	4,400.00
55 Hockey Changerooms Totals:					52,500.00	57,750.00

56 Timekeepers Box	Timekeepers box					
Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
S & I Floor Structur	S & I Timber Floor Structure	250.00	10.00	m2	2,500.00	2,750.00
Wall Frame material	Supply stud wall framing material	50.00	40.00	m2	2,000.00	2,200.00
Labour (1)(1)	Fabricate and stand stud walls	600.00	2.00	Day	1,200.00	1,320.00
Provisional Sum	Electrical work	1,500.00	1.00	Each	1,500.00	1,650.00
S & I Cladding	S & I Cladding - PS inc painting	180.00	40.00	m2	7,200.00	7,920.00
Ceiling Fixer S (3)	To S & I Plasterboard To Walls and ceiling inc insulation	50.00	40.00	m2	2,000.00	2,200.00
Provisional Sum	Painting	1,500.00	1.00	Each	1,500.00	1,650.00
Provisional Sum	S & I entry door and windows complete	7,000.00	1.00	Each	7,000.00	7,700.00
Provisional Sum	S & I stairs	4,000.00	1.00	Each	4,000.00	4,400.00
56 Timekeepers Box Totals:					28,900.00	31,790.00
Totals:					1,264,116.00	1,389,739.20

# Estimate Costs and Prices

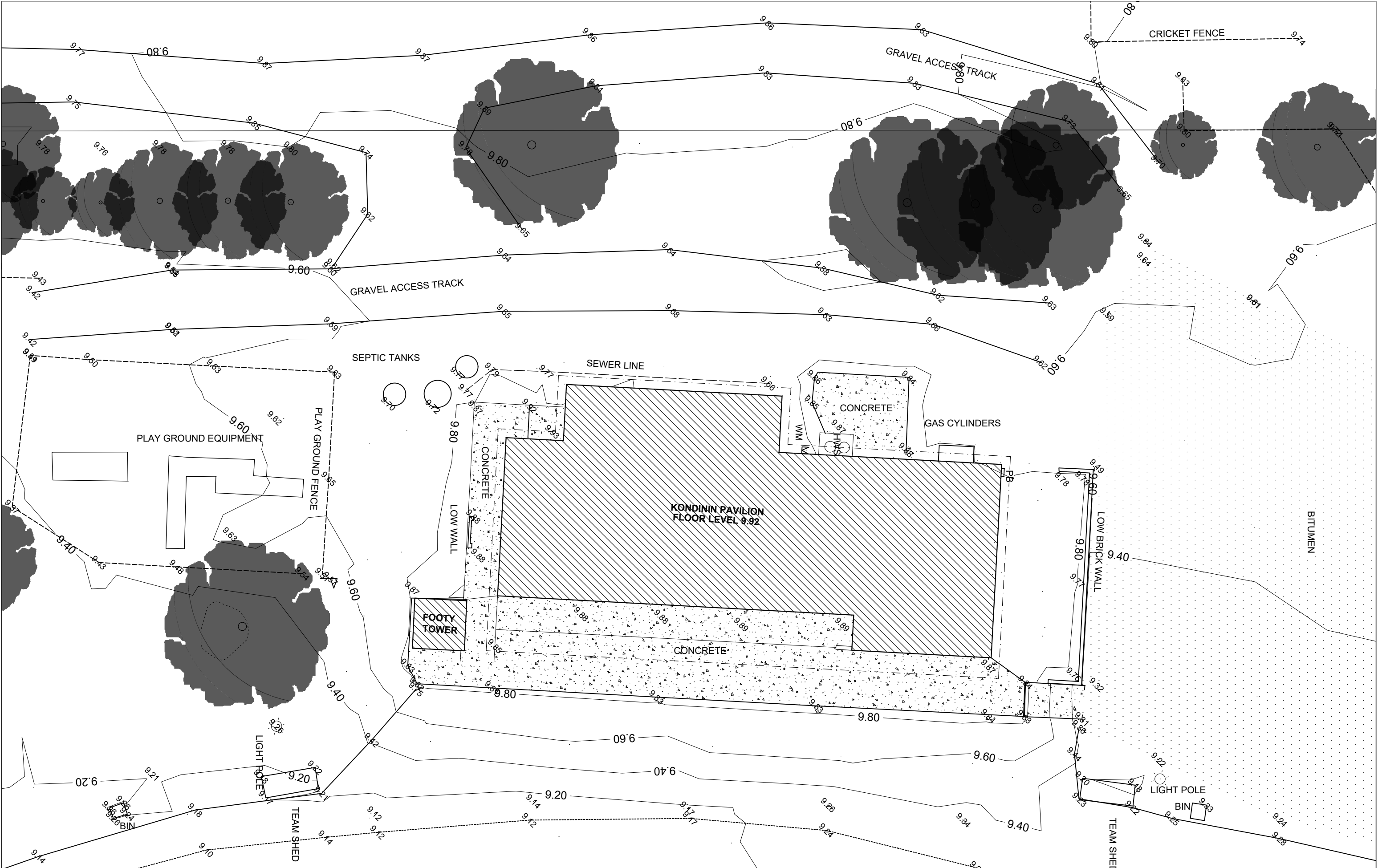
Cost Excludes  
GST  
Price Includes  
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

GST:	125,623.20	125,623.20
Totals	1,264,116.00	1,389,739.20

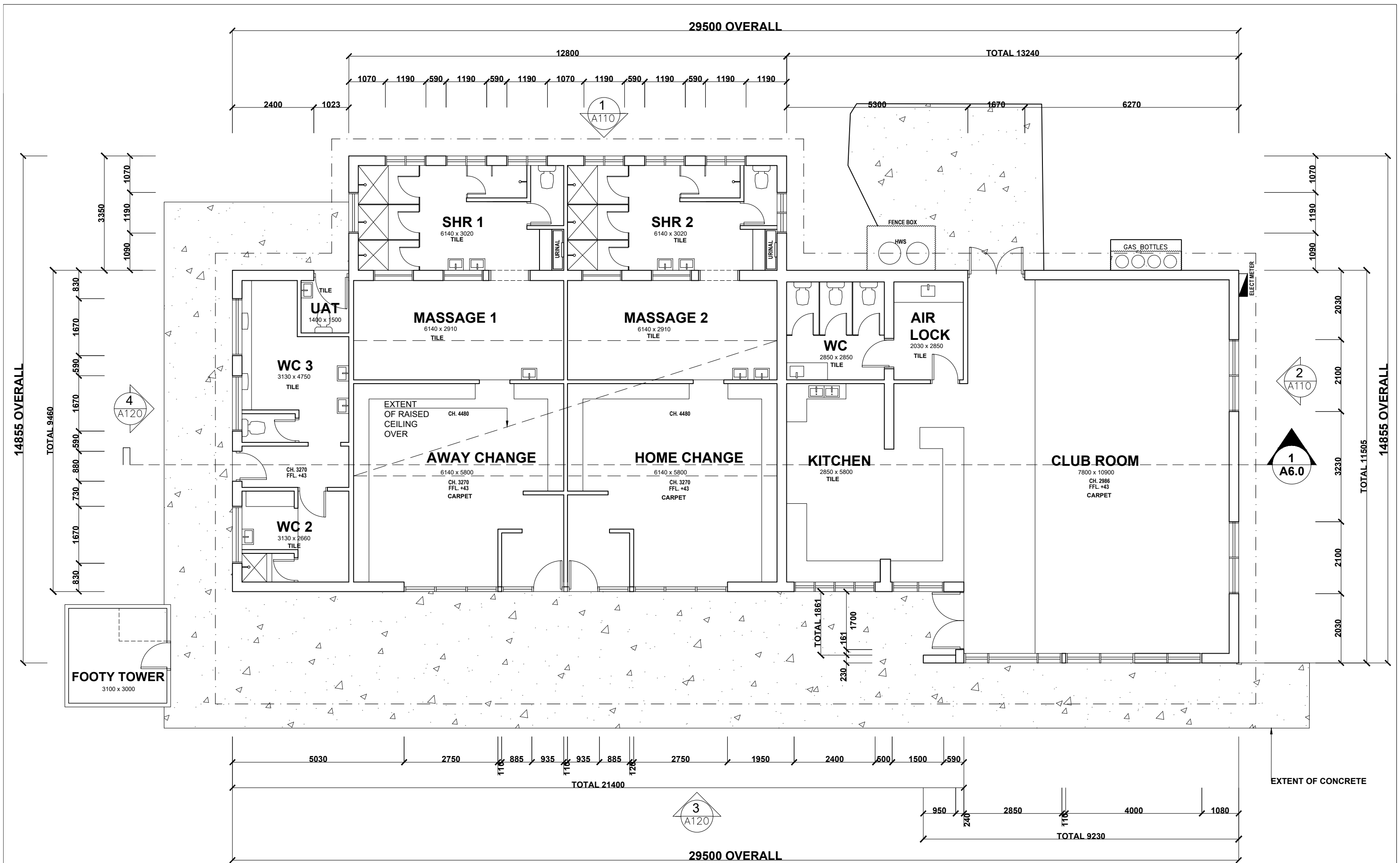
CONTENTS



A1.0	AS CONSTRUCTED PLANS, ELEVATIONS
A2.0	REMOVAL PLANS, ELEVATIONS
A3.0	PROPOSED PLANS
A4.0	ELEVATIONS
A5.0	SECTIONS



Notes		Project	KONDININ PAVILION		Drawing	EXISTING SITE PLAN		Project Status: <b>CONCEPT DESIGN</b>		<div><div>ORA</div><div>Office of Regional Architecture</div></div> <div><div>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306</div><div>T. 9699 6474</div><div>admin@regionalarchitect.com.au</div><div>www.regionalarchitect.com.au</div><div>ABWA Reg: #2150</div></div>
TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023		FL - @ FFL HEIGHT LF - @ -40mm below FFL		Client SHIRE OF KONDININ  Address 44 GORDON ST, KONDININ, 6367  ORA Project No. 2022 - 0017	Scale 1:200  Date 29/03/2023	Drawing No. A100  Revision A	<div><div><div></div></div><div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div></div><div><div></div>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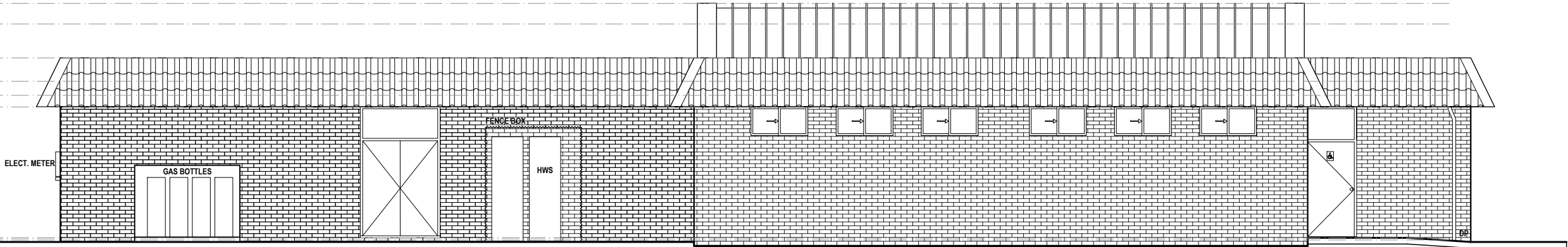
<p>Notes</p> <p>TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate</p> <p>© OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>Project KONDININ PAVILION</p> <p>Client SHIRE OF KONDININ</p> <p>Address 44 GORDON ST, KONDININ, 6367</p> <p>ORA Project No. 2022 - 0017</p>	<p>Drawing EXISTING PLAN</p> <p>Scale 1:100</p> <p>Date 29/03/2023</p> <p>Drawing No. A101</p> <p>Revision A</p>	<p>Project Status: <b>CONCEPT DESIGN</b></p> <div><p>Member Australian Institute of Architects</p></div>	<div><p>Office of Regional Architecture</p></div> <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</p>
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ROOF PITCH 65°

TOR CHANGE + 4900  
CEILING + 4480

TOR + 3770  
CEILING + 3270  
CEILING + 2986  
TOW + 2743

FFL 0.00  
GROUND LINE (VARIES) - 43



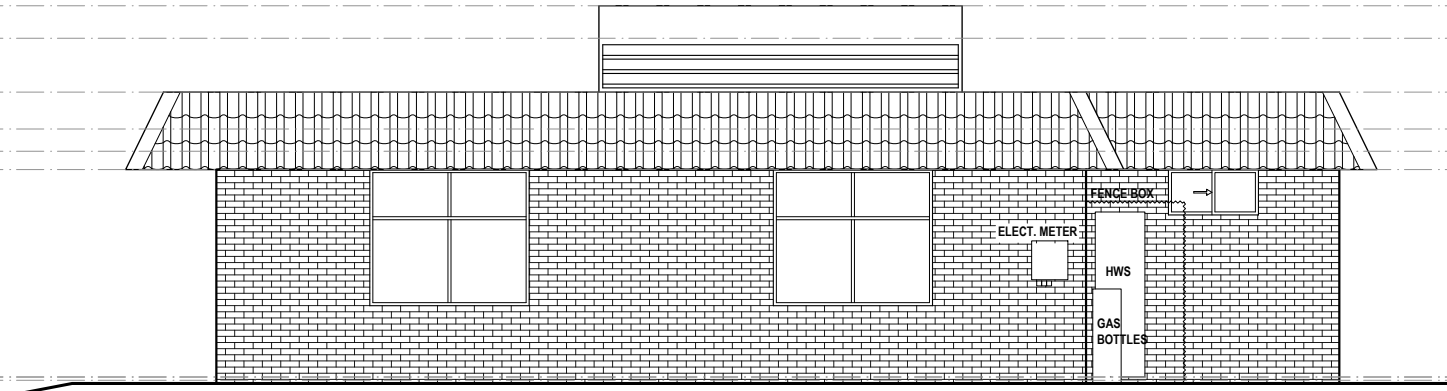
1 EAST ELEVATION  
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ROOF PITCH 65°

TOR CHANGE + 4900  
CEILING + 4480

TOR + 3770  
CEILING + 3270  
CEILING + 2986  
TOW + 2743

FFL 0.00  
GROUND LINE (VARIES) - 43



2 NORTH ELEVATION  
1:100

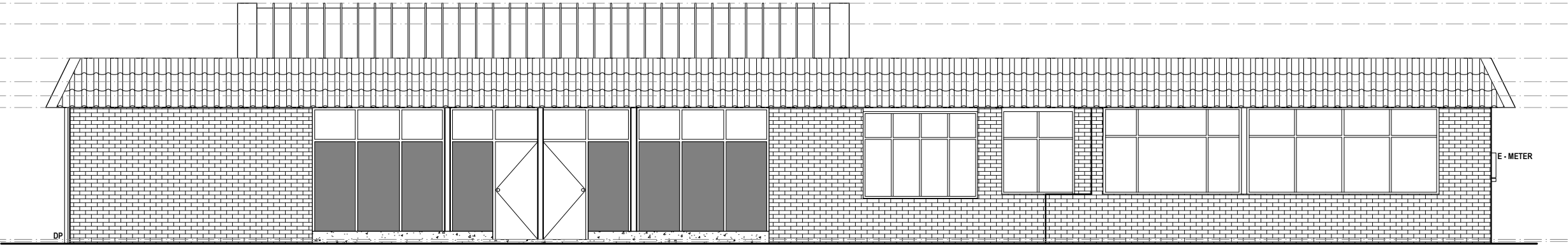
Notes	ProjectKONDININ PAVILION	DrawingEXISTING ELEVATIONS	Project Status:CONCEPT DESIGN	<div>ORA</div> <div>Office of Regional Architecture</div> <div>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</div>
TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate	FL - @ FFL HEIGHT LF - @ -40mm below FFL	ClientSHIRE OF KONDININ  Address44 GORDON ST, KONDININ, 6367  ORA Project No. 2022 - 0017	Scale 1:100  Drawing No. A110  Date 29/03/2023  Revision A	
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ROOF PITCH 65°

TOR CHANGE + 4900  
CEILING + 4480

TOR + 3770  
CEILING + 3270  
CEILING + 2986  
TOW + 2743

FFL 0.00  
GROUND LINE (VARIES) - 43



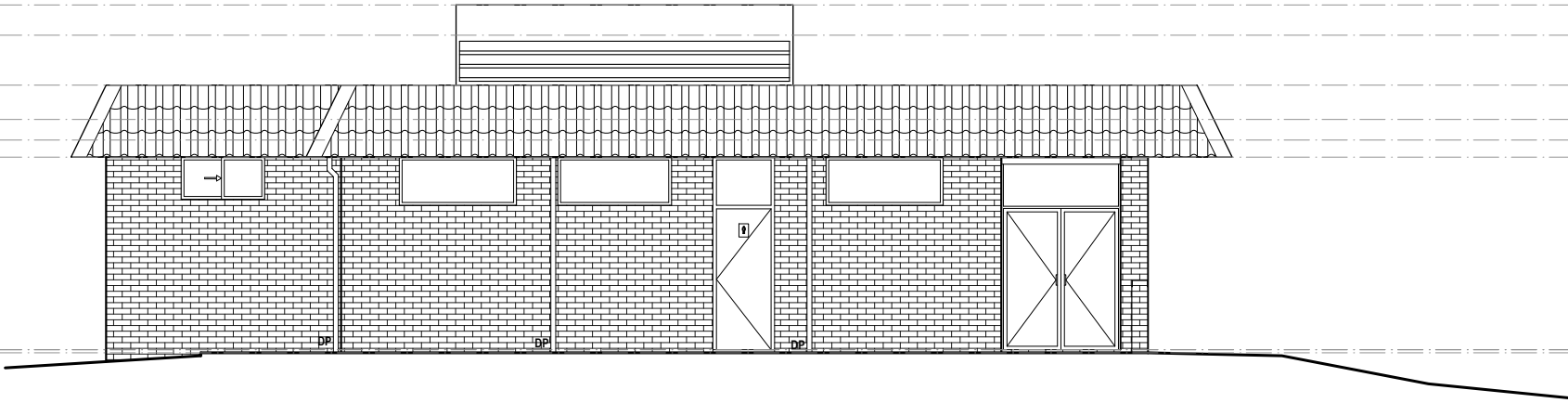
3 WEST ELEVATION  
1:100

ROOF PITCH 65°

TOR CHANGE + 4900  
CEILING + 4480

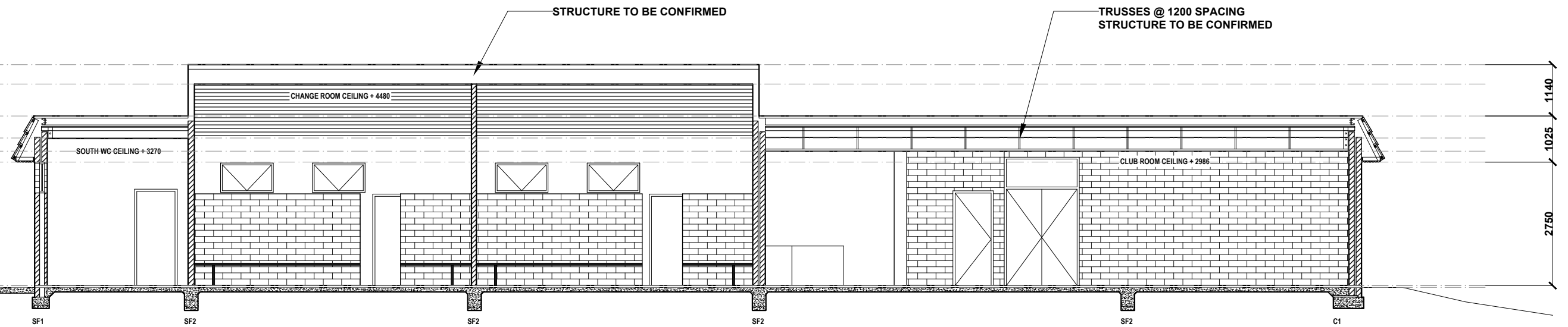
TOR + 3770  
CEILING + 3270  
CEILING + 2986  
TOW + 2743

FFL 0.00  
GROUND LINE (VARIES) - 43



4 SOUTH ELEVATION  
1:100



Notes	Project KONDININ PAVILION	Drawing EXISTING ELEVATIONS	Project Status: <b>CONCEPT DESIGN</b>	<div>ORA</div> <div>Office of Regional Architecture</div> <div>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</div>
TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023	FL - @ FFL HEIGHT LF - @ -40mm below FFL	Client SHIRE OF KONDININ  Address 44 GORDON ST, KONDININ, 6367  ORA Project No. 2022 - 0017	Scale 1:100  Date 29/03/2023	
		Drawing No. A120  Revision A	<div>⌚</div> <div>Member Australian Institute of Architects</div>	



Notes		Project	KONDININ PAVILION		Drawing	EXISTING SECTION		Project Status: <b>CONCEPT DESIGN</b>		<div><div>ORA</div><div>Office of Regional Architecture</div><div>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</div></div>
TOR - Top of Roof	FL - @ FFL HEIGHT	Client	SHIRE OF KONDININ	Scale	1:100	Drawing No.	A130	<div><div><div></div></div></div>	<div><div><div></div></div><div>Member Australian Institute of Architects</div></div>	
TOW- Top of Wall	LF - @ -40mm below FFL									
FFL - Finished Floor Level										
EB - Electrical Box										
All roof angles approximate										
© OFFICE OF REGIONAL ARCHITECTURE 2023										
		Address 44 GORDON ST, KONDININ, 6367		Date 29/03/2023		Revision		A		
		ORA Project No. 2022 - 0017								



Notes		Project	KONDININ PAVILION		Drawing	PROPOSED SITE PLAN		Project Status: <b>CONCEPT DESIGN</b>	
TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023		FL - @ FFL HEIGHT LF - @ -40mm below FFL		Client	SHIRE OF KONDININ		Scale	1:200	
				Address	44 GORDON ST, KONDININ, 6367		Drawing No.	A300	
				ORA Project No.	2022 - 0017		Date	29/03/2023	
							Revision	A	

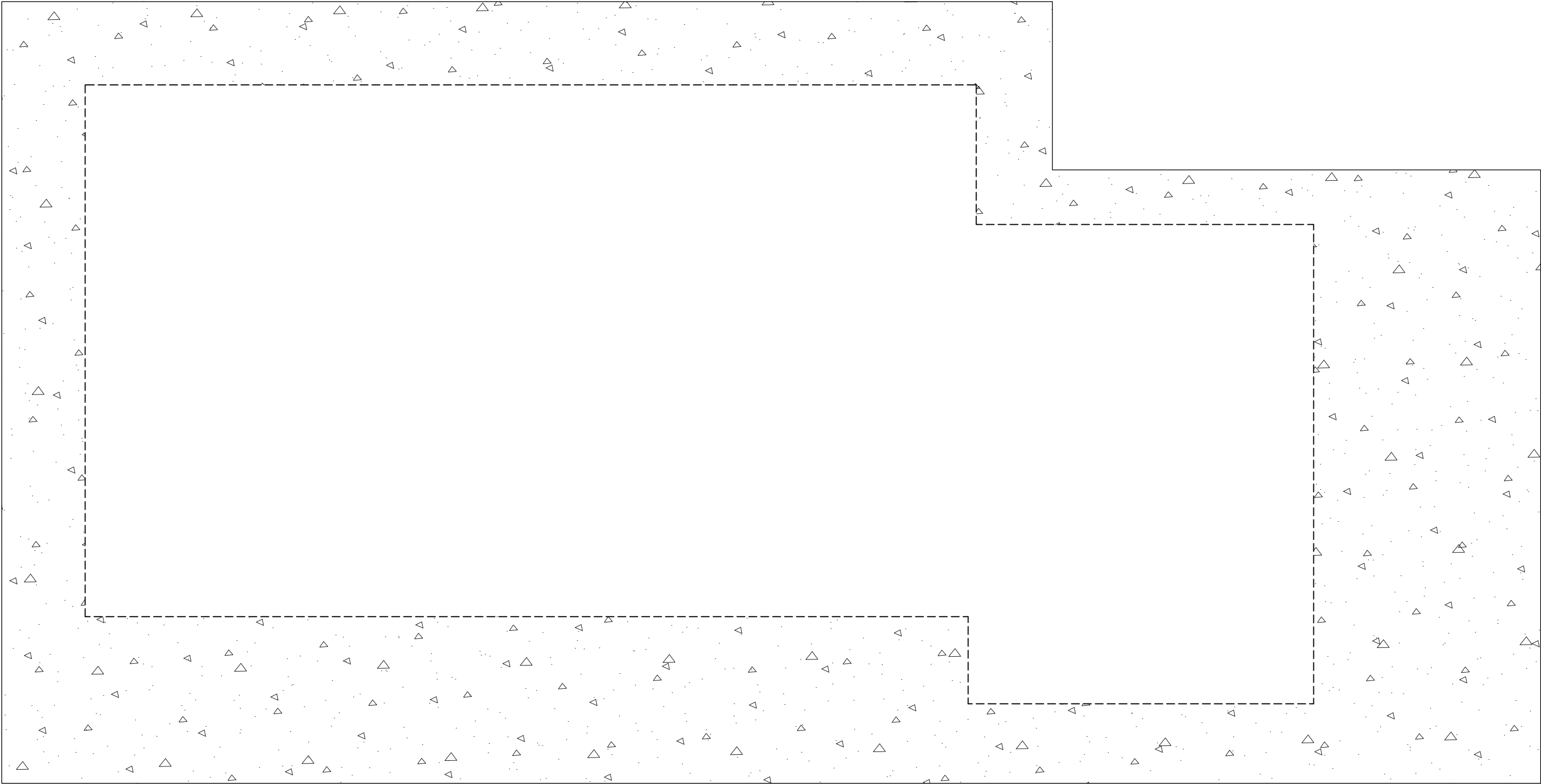


Member  
Australian  
Institute of  
Architects

ORA

Office of Regional  
Architecture

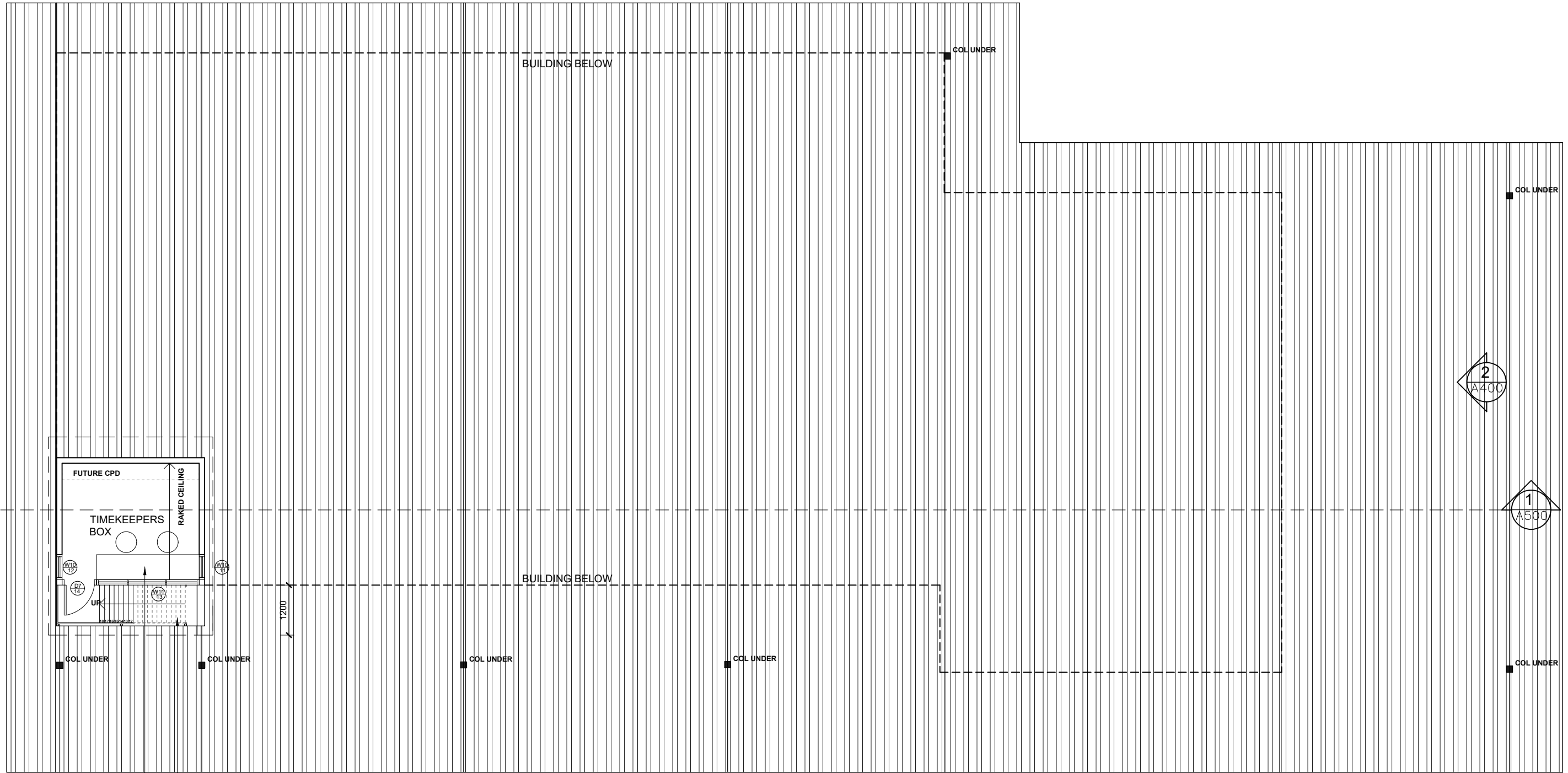
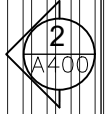
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cnr Robinson Rd Brookton WA 6306  
PO Box 102 Brookton WA 6306  
T. 9699 6474  
admin@regionalarchitect.com.au  
www.regionalarchitect.com.au  
ABWA Reg #2150



Notes	ProjectKONDININ PAVILION	DrawingSET OUT PLAN	Project Status:CONCEPT DESIGN	<div><div><div></div></div><div><div>ORA</div><div>Office of Regional Architecture</div></div><div><div>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</div></div></div>
TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023	FL - @ FFL HEIGHT LF - @ -40mm below FFL  Client SHIRE OF KONDININ  Address 44 GORDON ST, KONDININ, 6367  ORA Project No. 2022 - 0017	Scale 1:100  Date 29/03/2023	Drawing No. A301  Revision A	







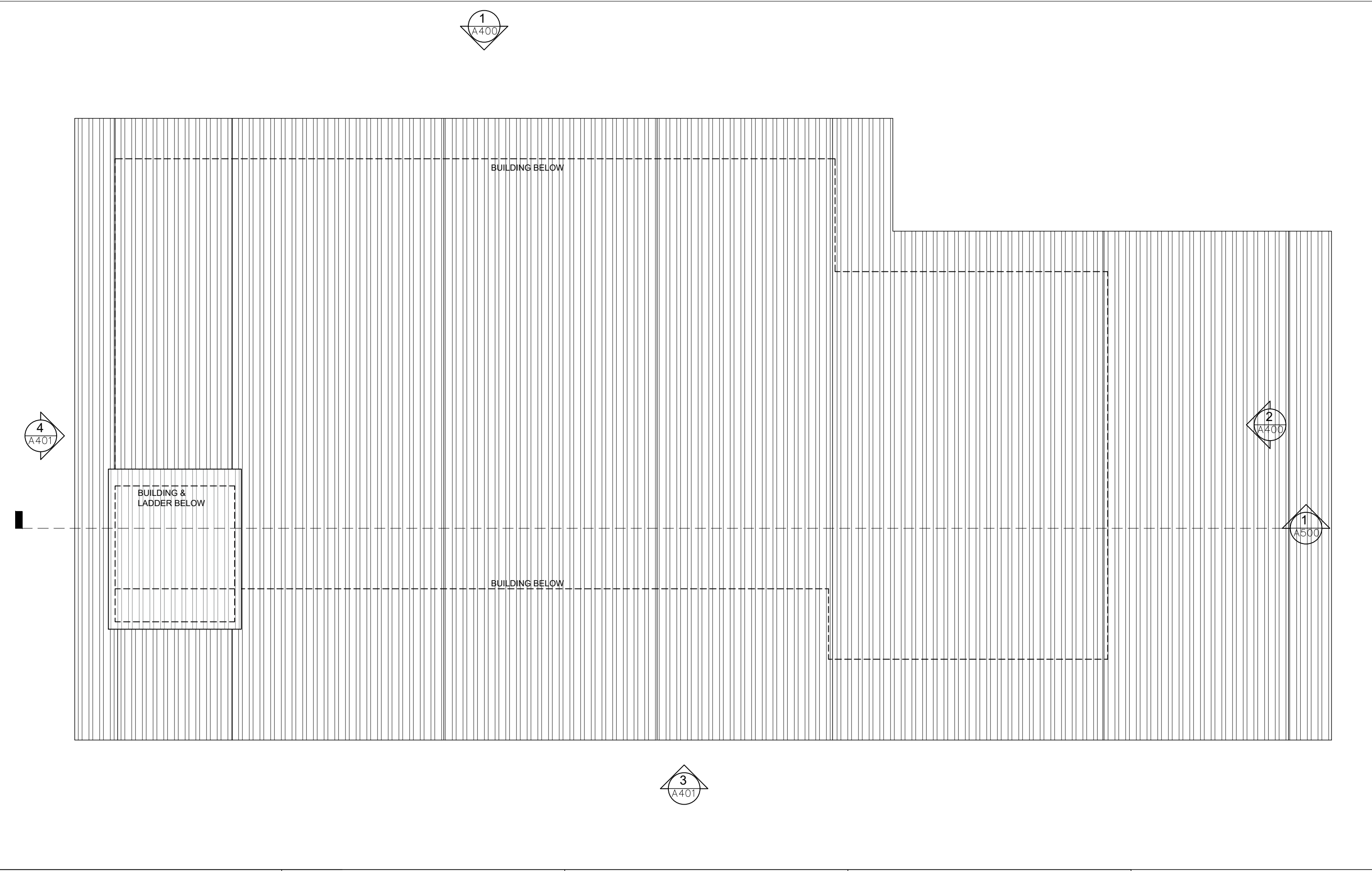


NEW TIMEKEEPERS  
BOX ABOVE UMPIRES  
ROOM FFL +3540mm

NEW ACCESS LADDER WITH  
MESH SURROUND & GATE FOR  
RESTRICTED ACCESS TO TIME  
KEEPERS BOX ABOVE

Notes	Project KONDININ PAVILION	Drawing LEVEL 1 PLAN	Project Status: <b>CONCEPT DESIGN</b>
TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023	Client SHIRE OF KONDININ  Address 44 GORDON ST, KONDININ, 6367  ORA Project No. 2022 - 0017	Scale 1:100  Date 29/03/2023	Drawing No. A303  Revision A
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			 Office of Regional Architecture 2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150





Notes		Project	KONDININ PAVILION		Drawing	ROOF PLAN		Project Status: <b>CONCEPT DESIGN</b>		<div><div>ORA</div><div>Office of Regional Architecture</div></div> <div><div>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306</div><div>T. 9699 6474</div><div>admin@regionalarchitect.com.au</div><div>www.regionalarchitect.com.au</div><div>ABWA Reg #2150</div></div>
TOR - Top of Roof	FL - @ FFL HEIGHT	Client SHIRE OF KONDININ	Address 44 GORDON ST, KONDININ, 6367	ORA Project No. 2022 - 0017	Scale 1:100	Drawing No.	A306	<div><div><div></div></div><div><div>Member Australian Institute of Architects</div></div></div>		
TOW- Top of Wall	LF - @ -40mm below FFL				Date 29/03/2023	Revision	A			
FFL - Finished Floor Level										
EB - Electrical Box										
All roof angles approximate										
© OFFICE OF REGIONAL ARCHITECTURE 2023										

**TOR CHANGE + 7390**

TOR + 4450

**LVL1 +3540**

**CEILING + 3270**

**CEILING + 2986**  
**TOW + 2743**

**FFL 0.00**

**GROUND LINE (VARIES) - 43**

**NEW TIME KEEPERS BOX  
ABOVE UMPIRES ROOM**

**EXTENT OF NEW ROOF**

1 EAST ELEVATION  
1:100

**TOR CHANGE + 7390**

TOR + 4450.

**LVL1 +3540**

**CEILING + 3270**

CEILING + 2986  
TOW + 2743

**FFL 0.00**

**GROUND LINE (VARIES) - 43**

2 NORTH ELEVATION  
1:100

NEW TIME KEEPERS TIME  
BOX ABOVE UMPIRES  
ROOM

— EXTENT OF NEW ROOF &  
EXPOSED TRUSS FRAME

**FIBER CEMENT  
CLADDING**



## NEW STEEL COLUMN

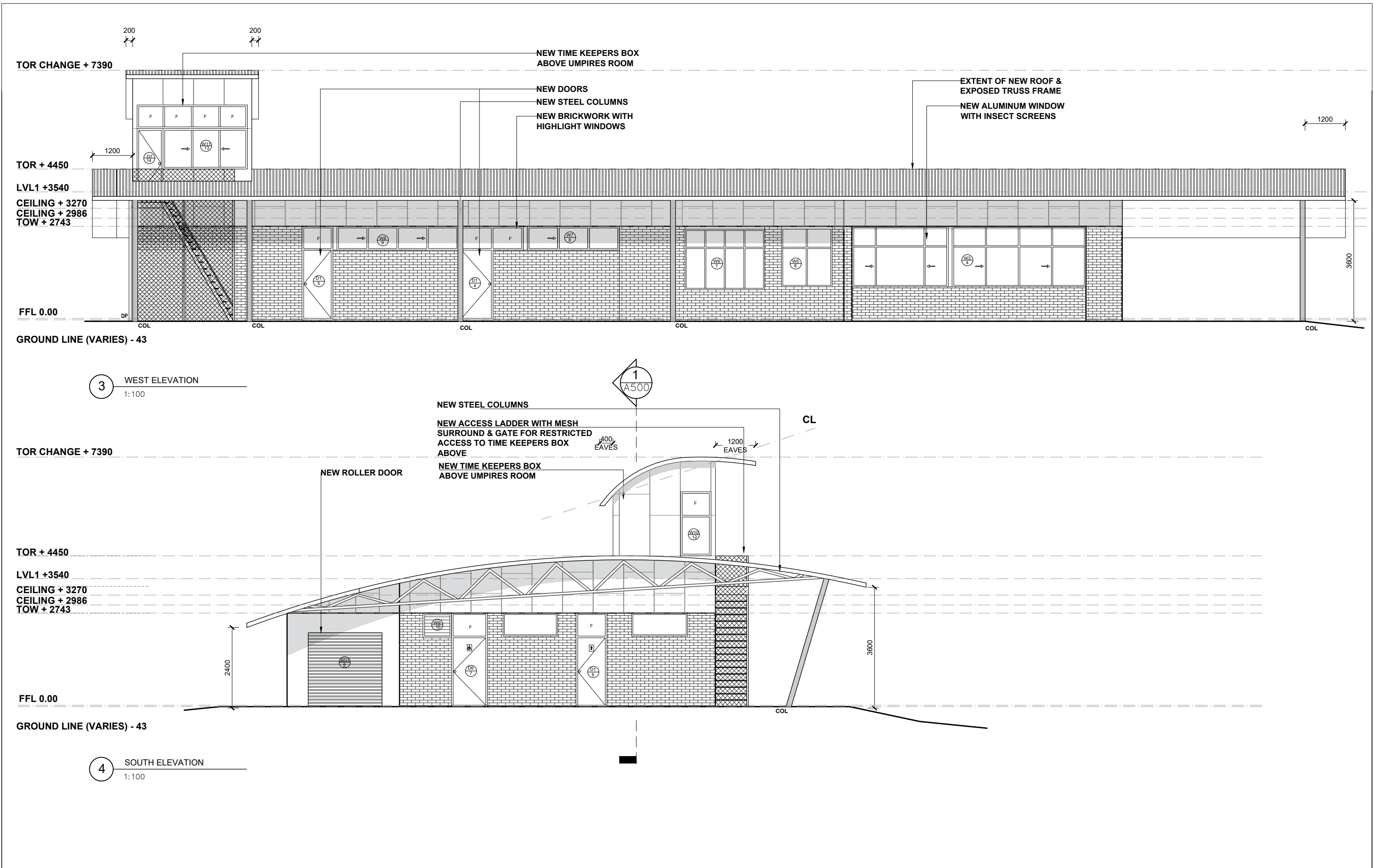
## MESH FENCE AND GATES




—STEEL FRAME WITH FC CLADDING  
1800 H. BIN STORAGE

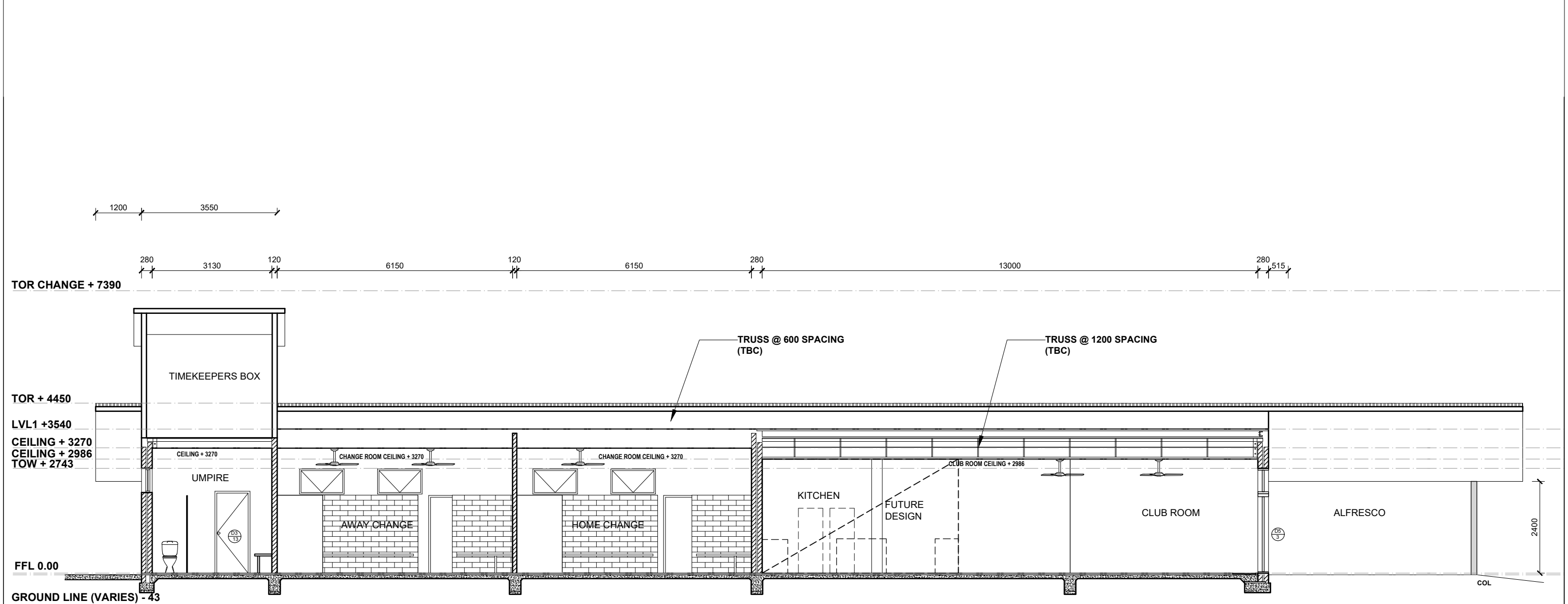
—ALUMINUM WINDOW WITH INSECT SCREENS

—GLAZED DOORS WITH  
ALUMINUM FRAME

Notes	Project KONDININ PAVILION	Drawing ELEVATIONS	Project Status: <b>CONCEPT DESIGN</b>	 
TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023	FL - @ FFL HEIGHT LF - @ -40mm below FFL Client SHIRE OF KONDININ Address 44 GORDON ST, KONDININ, 6367 ORA Project No. 2022 - 0017	Scale 1:100 Drawing No. A400 Date 29/03/2023 Revision A	2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150	



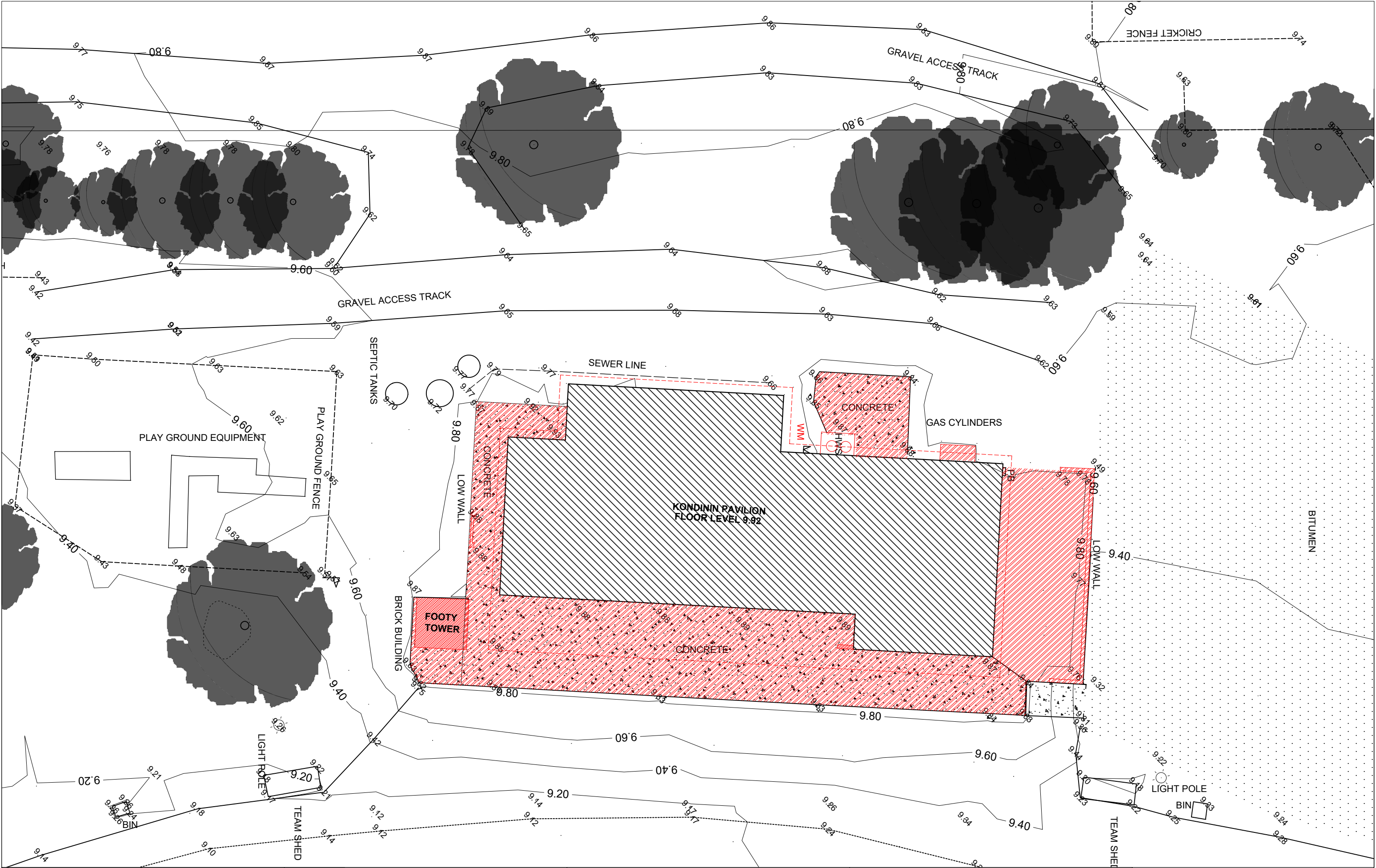
<div>Notes</div> <div>TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023</div>	<div>Project</div> <div>KONDININ PAVILION</div> <div>Client SHIRE OF KONDININ</div> <div>Address 44 GORDON ST, KONDININ, 6367</div> <div>ORA Project No. 2022 - 0017</div>	<div>Drawing</div> <div>ELEVATIONS</div> <div>Scale 1:100</div> <div>Date 29/03/2023</div> <div>Drawing No. A401</div> <div>Revision A</div>	<div>Project Status: CONCEPT DESIGN</div> <div><div>Member Australian Institute of Architects</div></div>	<div><div>Office of Regional Architecture</div></div> <div>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</div>
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1 SECTION AA  
1:100

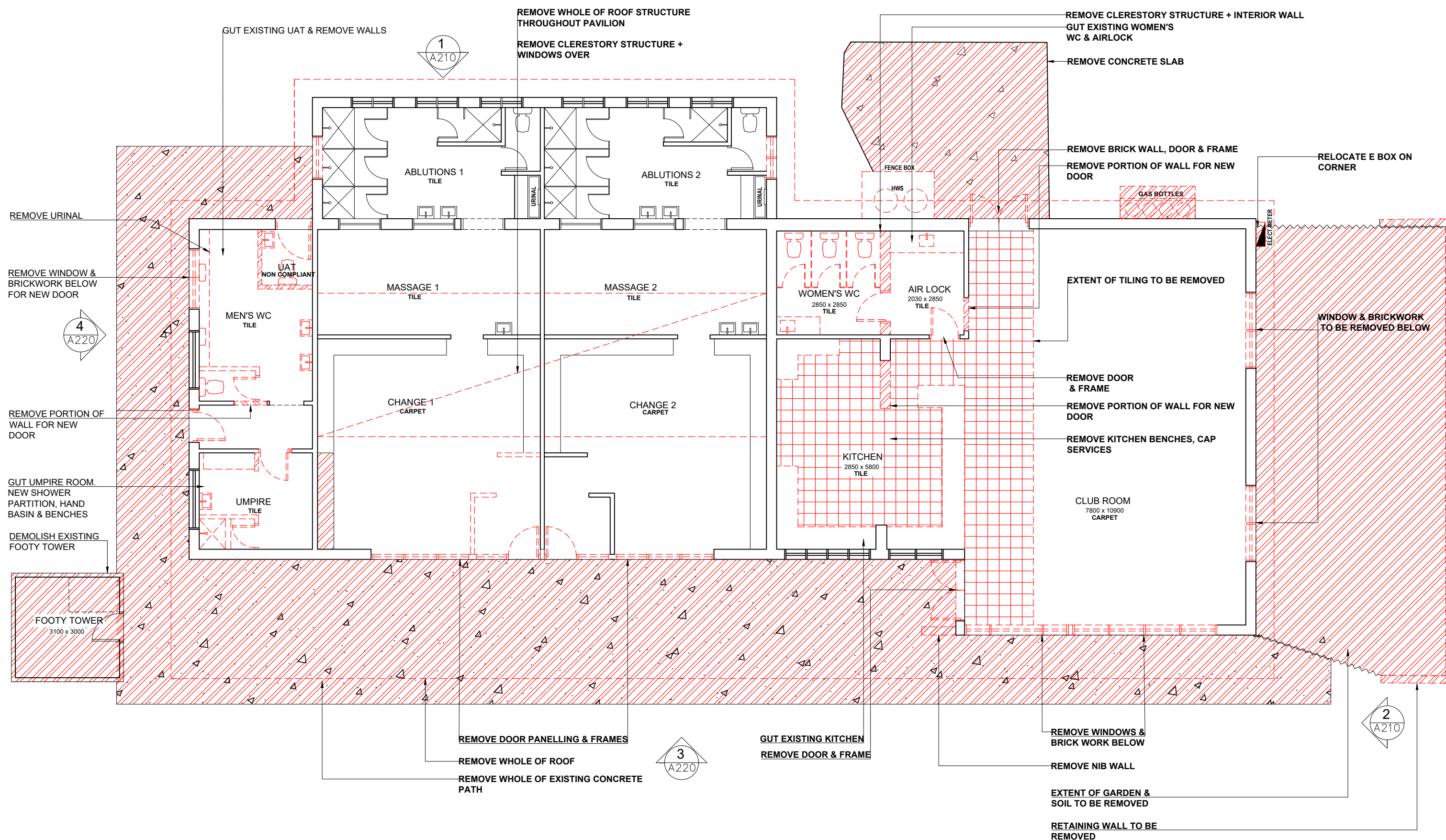
Notes		Project	KONDININ PAVILION		Drawing	SECTION A		Project Status: <b>CONCEPT DESIGN</b>		<div><div>ORA</div><div>Office of Regional Architecture</div></div> <div><div>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306</div><div>T. 9699 6474</div><div>admin@regionalarchitect.com.au</div><div>www.regionalarchitect.com.au</div><div>ABWA Reg #Z150</div></div>
TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023		Client SHIRE OF KONDININ  Address 44 GORDON ST, KONDININ, 6367  ORA Project No. 2022 - 0017		Scale 1:100  Date 29/03/2023		Drawing No. A500  Revision A		<div><div><div></div></div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div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<p>Notes</p> <p>TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>Project KONDININ PAVILION</p> <p>Client SHIRE OF KONDININ</p> <p>Address 44 GORDON ST, KONDININ, 6367</p> <p>ORA Project No. 2022 - 0017</p>	<p>Drawing DEMOLITION SITE PLAN</p> <p>Scale 1:200</p> <p>Date 29/03/2023</p> <p>Drawing No. A200</p> <p>Revision A</p>	<p>Project Status: <b>CONCEPT DESIGN</b></p> <div><p>Member Australian Institute of Architects</p></div>	<div><p>Office of Regional Architecture</p></div> <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</p>
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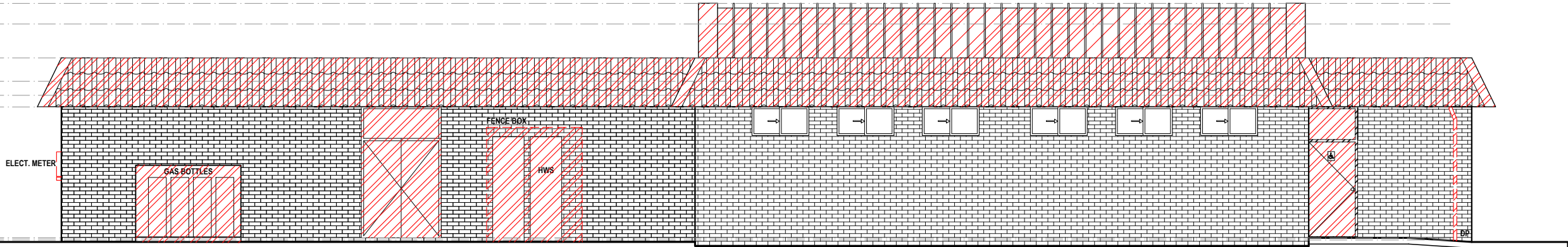


ROOF PITCH 65°

TOR CHANGE + 4900  
CEILING + 4480

TOR + 3770  
CEILING + 3270  
CEILING + 2986  
TOW + 2743

FFL 0.00  
GROUND LINE (VARIES) - 43



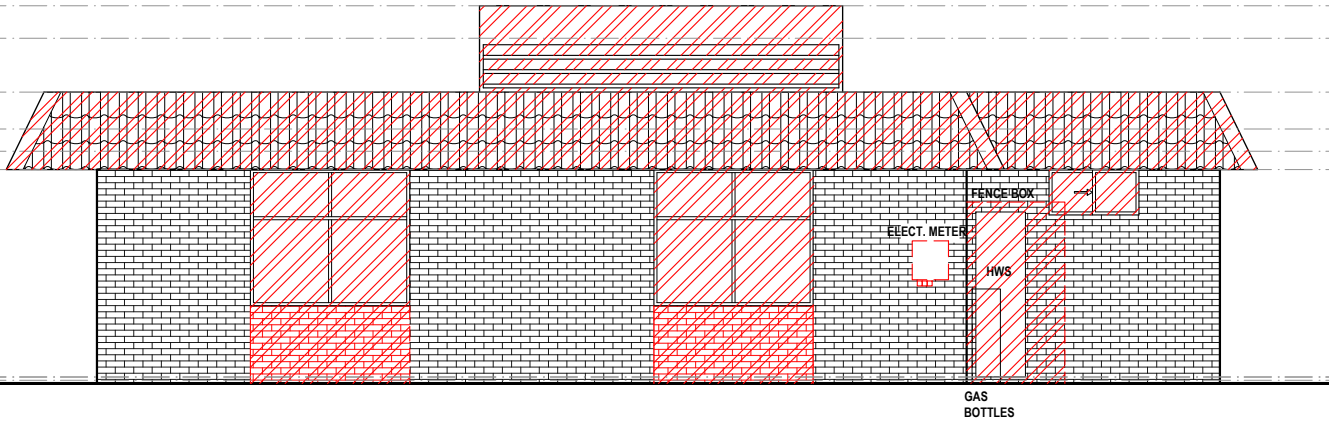
1 EAST ELEVATION  
1:100

ROOF PITCH 65°

TOR CHANGE + 4900  
CEILING + 4480

TOR + 3770  
CEILING + 3270  
CEILING + 2986  
TOW + 2743

FFL 0.00  
GROUND LINE (VARIES) - 43



2 NORTH ELEVATION  
1:100

Notes	Project KONDININ PAVILION	Drawing DEMOLITION ELEVATIONS	Project Status: <b>CONCEPT DESIGN</b>	<div>ORA</div> <div>Office of Regional Architecture</div> <div>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</div>
TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023	Client SHIRE OF KONDININ  Address 44 GORDON ST, KONDININ, 6367  ORA Project No. 2022 - 0017	Scale 1:100  Date 29/03/2023	Drawing No. A210  Revision A	
FL - @ FFL HEIGHT LF - @ -40mm below FFL				

ROOF PITCH 65°

TOR CHANGE + 4900  
CEILING + 4480

TOR + 3770  
CEILING + 3270  
CEILING + 2986  
TOW + 2743

FFL 0.00  
GROUND LINE (VARIES) - 43



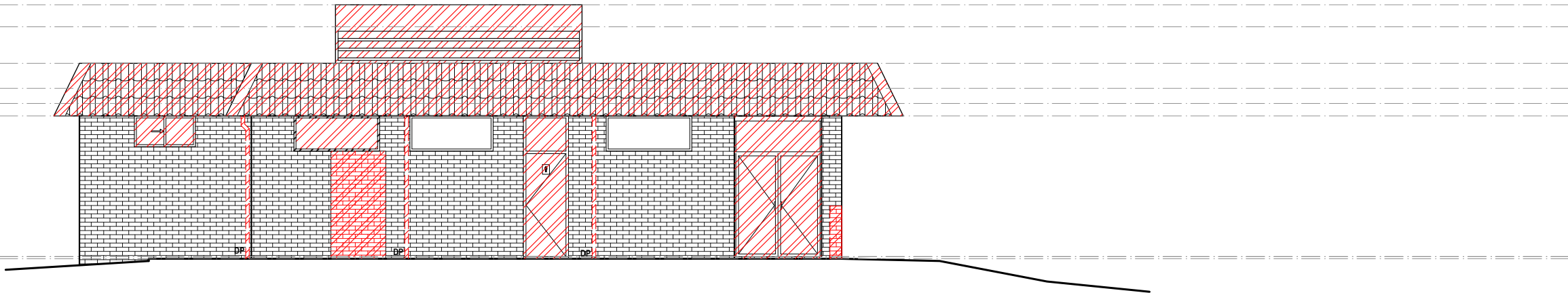
3 WEST ELEVATION  
1:100

ROOF PITCH 65°

TOR CHANGE + 4900  
CEILING + 4480

TOR + 3770  
CEILING + 3270  
CEILING + 2986  
TOW + 2743

FFL 0.00  
GROUND LINE (VARIES) - 43



4 SOUTH ELEVATION  
1:100

Notes	Project KONDININ PAVILION	Drawing DEMOLITION ELEVATIONS	Project Status: <b>CONCEPT DESIGN</b>	<div>ORA</div> <div>Office of Regional Architecture</div> <div>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</div>
TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023	FL - @ FFL HEIGHT LF - @ -40mm below FFL	Client SHIRE OF KONDININ  Address 44 GORDON ST, KONDININ, 6367  ORA Project No. 2022 - 0017	Scale 1:100  Date 29/03/2023	
		Drawing No. A220  Revision A	<div>⌚</div> <div>Member Australian Institute of Architects</div>	



# SHIRE OF KONDININ

## **Sport and Recreation Facilities Plan**

2021 – 2031



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Authors	Caroline Robinson (150Square) Tory Young (Shire of Kondinin, Manager of Assets)
Council Adopted	16 June 2021
Reviewed	Council Amended 16 March 2022

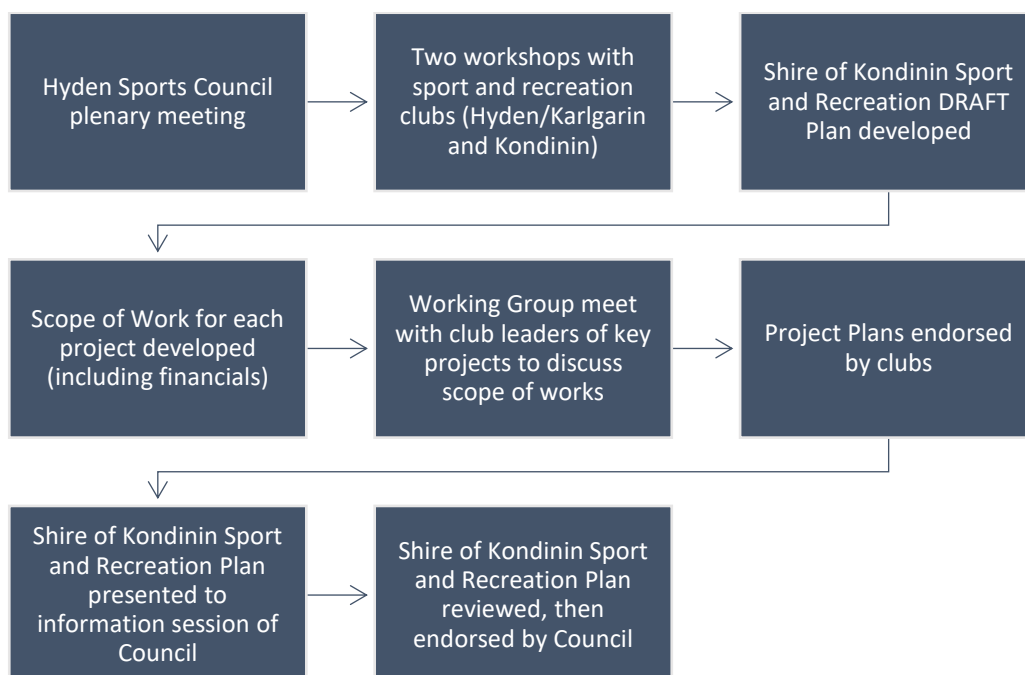
## 1. Purpose of the Plan

The Shire of Kondinin Sport and Recreation Facilities Plan has been developed to provide a clear vision of the direction in which Council, in partnership with local sport and recreation clubs would like to proceed with sport and recreation facilities over the next 10yrs and beyond. The purpose of the plan is to:

- **Identify the sport and recreation facilities** throughout the Shire of Kondinin
- **Highlight the needs of sporting groups** and what facility improvements are most-needed from their perspective with consideration of the future
- **Improve opportunities to participate** in active recreation and sporting activities within the Shire and
- **To establish a framework of investment** to address the key priorities for sustainable sport and recreation facilities across the Shire of Kondinin

## 2. Plan Development

The following stages were taken in developing this plan.



Members of the Working Group included Cr Mouritz, Cr Gangell, Cr Pool and Manager of Assets Tory Young.

## 3. Current Situation

The communities across the Shire of Kondinin have a strong sporting culture, history and connection with the wider community with successful clubs and teams across the district. Although the majority of sport and recreation infrastructure across the district is owned by the Shire of Kondinin there is a great sense of ownership and pride felt by the clubs that operate from these facilities towards their grounds and they actively contribute towards new or renovated facilities to improve their playing surfaces or clubrooms.

## Current Sport and Recreation Facilities Across the Shire

### Kondinin

- Kondinin Country Club – recently (2018-19) renovated to include new change rooms an enlarged kitchen and function area.
- Kondinin Bowling Rink
- Kondinin Hockey Field – not currently fit for use
- Kondinin Pavilion and Football / Cricket Oval
- Kondinin Netball Courts
- Kondinin Tennis Courts (4)
- Kondinin Aquatic Centre & Bill Smoker Room – built in 2014 with new amenities opened in 2015. Open from November to April. Includes a 25-metre lap pool, beach entry to toddlers and learn to swim area, spa area, kiosk and BBQ area. There is also a function centre available for hire all year round.
- Kondinin Golf Course – 18 holes and clubroom

### Karlgarin

- Karlgarin Pavilion – Oval and clubroom catering for cricket.
- Karlgarin Bowling Club – Club room and bowling green

### Hyden

- Hyden Recreation Centre
- Hyden Netball Courts (3)
- Hyden Cricket / Football Oval
- Hyden Hockey Grass Field
- Hyden Tennis Club – 8 courts and club room
- Hyden Golf Course – 18-hole course based around Wave Rock.
- Hyden Swimming Pool – a major upgrade was undertaken in 2008. Open from November to April. Features a main pool, toddlers and babies pool, diving pool with 1 and 3 metre high springboards. Also includes a volleyball court, cricket and basketball area, kiosk and large grassed area.

Sport and recreation clubs across the Shire have a unique set of circumstances which influence this plan:

- Multiple sport and recreation facilities across three townships e.g. two swimming pools, three ovals, two recreation centres, two bowling greens, etc.
- Across Shire sporting clubs e.g. KK Vipers Hockey Club
- Across township clubs e.g. Karlgarin Hyden Hockey Club
- Two active sports councils in the townships of Hyden and Kondinin which assist in sports leadership, planning and facility development

Payments and fees across the Shire vary and arrangements are in place with the two Sporting Councils regarding usage fees as well as any clubs not affiliated with these two organisations.

### Sport and Recreation Clubs in the Shire of Kondinin

The districts sporting clubs can be broken into three tiers with small, medium and large membership bases.

<b>Small Clubs &lt;30 members</b>	Kondinin Tennis Club Kondinin Kulin Cricket Club Karlgarin Bowling Club
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	Hyden Croquet Club Karlgin Hyden Pingaring Cricket Club Kondinin Swimming Club Kondinin Netball Club
<b>Medium Clubs 30-50 members</b>	Kondinin Bowling Club Kondinin Golf Club Karlgin Hyden Hockey Club Hyden Golf Club Hyden Netball Club
<b>Large Clubs 50-100 Members</b>	Kulin Kondinin Football Club KK Vipers Hockey Club Hyden Tennis Club Hyden Karlgin Football Club

### Shire of Kondinin Sport and Recreation Main Events

<b>Croquet</b>	Infancy stage
<b>Kondinin Kulin Cricket Club</b>	Weekly training and weekend games in season, rotated in the association
<b>Karlgin Hyden Pingaring Cricket Club</b>	Weekly training and weekend games in season, rotated in the association
<b>Hyden Golf Club</b>	Open days, weekend competitions
<b>Kondinin Golf Club</b>	Open days, weekend competitions
<b>Hyden Tennis Club</b>	Weekend competitions, social tennis, pennants, open days, junior coaching, hosting finals for tennis
<b>Kondinin Tennis Club</b>	Weekend competitions, social tennis, pennants, open days, junior coaching, hosting finals
<b>Kulin Kondinin Football Club</b>	Weekday trainings and weekend competitions in the association, hosting finals, regional competitions, youth competitions
<b>Hyden Karlgin Football Club</b>	Weekday trainings and weekend competitions in the association, hosting finals, regional competitions, youth competitions
<b>Kondinin Swimming Club</b>	Weekday training session and weekend time trails
<b>Hyden Swimming Club</b>	Weekday training session
<b>Karlgin Bowls</b>	Weekday and weekend competitions in the association, Rose Bowls, open days, regional competitions, social bowls, hosting finals
<b>Kondinin Bowls</b>	Weekday and weekend competitions in the association, Rose Bowls, open days, regional competitions, social bowls, hosting finals
<b>Kondinin Netball Club</b>	Weekday trainings and weekend competitions in the association, hosting finals, regional competitions, youth competitions, social netball
<b>Hyden Netball Club</b>	Weekday trainings and weekend competitions in the association, hosting finals, regional competitions, youth competitions, social netball
<b>Karlgin Hyden Hockey Club</b>	Weekday trainings and weekend competitions in the association, social hockey, regional competitions, hosting finals, youth competitions
<b>KK Vipers Hockey Club</b>	Weekday trainings and weekend competitions in the association, social hockey, regional competitions, hosting finals, youth competitions

## **Statistical Profile of the Shire of Kondinin**

- Population: 873 (ABS Census 2016)
- Total Shire population down by 86 people (-9%) from 950 (2001) to 864 (2016)
- Electors: 568 (Your Everyday Council Statistics 2019/20)
- Population growth rate of -10.3% over the period 2006 to 2016 (968 persons at the time of the 2006 Census down to 873 in 2016)
- Median age: 43 years (ABS, Census 2016)
- The median aged has increased by almost a decade, up from a median age of 34 in 2006
- Population of Aboriginal and/or Torres Strait Islander people: 57 (ABS, Census 2016)
- The Aboriginal proportion of the population has decreased in the Shire from 8.6% in 2006 to 6.6% in 2016 (ABS, Census 2016)
- Median weekly income has increased from \$452 in 2006 to \$763 in 2016 (ABS, Census 2016)
- Median weekly family income has increased from \$1,081 in 2006 to \$1,570 in 2016 (ABS Census 2016)

## **Community Profile of the Shire of Kondinin**

*(INSIGHT Regional Australia Institute – data compiled using a number of state and federal data sets between 2010 - 2016)*

- High rate of volunteerism (42.6% of persons aged 15 and over participate in voluntary work) but with a declining population there is a high risk of volunteer fatigue with fewer people available to contribute.
- Access to allied health services and distance to medical facilities are ranked poorly, with an average distance of 49.5km for resident to travel to access a medical facility.
- Poor access to telecommunications infrastructure and services (only 73% of households with internet connections, limited broadband coverage)
- High business turnover per capita (\$267,743)
- High population turnover (34.7%) and population decline (growth rate of -4.14%)
- High rate of workforce participation (63.3%) and low unemployment (2.5%)

## **Participation Across the Shire of Kondinin**

It is difficult to determine the Shire's participation rate in non-structured sport and recreation activities such as dancing, cycling, running, use of skate parks or other activities where clubs aren't involved.

On average sporting club participation remains stable but with the increasing pressure of volunteer burn out in delivering these sports. Hockey, netball and tennis have more female participants than male.

Although clubs are open to having members of varied abilities, sporting club participation across non-able bodied participants is low – this could be linked to a number of factors.

A massive voluntary effort to run the sport and recreation clubs across the Shire is evident. Additionally many of the same people are on multiple sport and community group executives.

## 4. Future Planning, Ideas and Issues

Over the last five years \$9m has been spent across the district on sport, recreation and cultural infrastructure. The annual maintenance and operating costs associated with sport and recreation infrastructure is approximately \$1.8m each year, with the three town ovals, recreation centres and swimming pools being the main cost areas. Annual income from sports clubs for the facilities is proportionately low – circa \$25K. Annual depreciation is circa \$750K.

Historically the Shire has relied on valuable contributions from the State and Federal Governments as well as the sporting clubs to maintain and enhance sport and recreation infrastructure. Usually on 1/3rd contribution basis from each party.

Whilst all clubs can point to areas of improvements in their facilities, most of the sport and recreation facilities seem to be of a moderate to good standard.

To assist in the forward planning of sport and recreation infrastructure and priorities across the district, the Shire of Kondinin held two workshops to receive feedback on sport and recreation facilities (16 and 18 February 2021). Over 55 attendees came. The level of engagement was extremely positive, and it was clear to see how much sport and recreation meant across the district.

When discussing the meaning of sport and recreation to the district many positive references were made with a resonating comment being made that sport and recreation is the ***plays a central role in community health, wellbeing and social cohesion.***

The main themes mentioned at the workshops included:

- Social fabric across the three communities
- Togetherness and a sense of community
- Mental and physical health and wellbeing
- Pride and achievement

### Barriers to Participation

Attendees analysed the main barriers to participation across the district and any specific groups that were missing out. Attendees also identified a number of ideas to help alleviate barriers and improve participation. The main themes were:

- Financial factors – membership fees, other costs of participation e.g. equipment
- Limited population growth – lack of people and limited accommodation for new people across the communities
- Associations – fixturing conflicts across sports and during peak agricultural seasons
- Distance – regional competition means lots of traveling to games which may be hard for some with other commitments
- Advertising/Awareness – apprehensive about breaking into new groups, no knowledge or awareness of options

Attendees identified some ideas moving forward to break down barriers:

- More children
- Review membership regularly to make sure its affordable
- Lowering fees/subs to encourage access
- Childminding services so parents can play

- Association re-align to follow each other
- Engagement with schools
- More drive for juniors
- Promotion of participation within clubs
- Improve facilities
- Focus on junior development, coaching clinics
- Open days and invitations to surrounding clubs
- Share the load to help volunteers

## Facility Planning

Since the initial workshops, the Shire of Kondinin and sports clubs have developed the following list of short term (1-2yrs), medium term (3-5yrs) and long term (5yrs plus) significant facility projects.

Priority	New or Existing Facility	Facility Recommendation	Action	Who
Short term	E	Hyden Sports Facilities Precinct Plan	Masterplan of sports surfaces and facilities in the Hyden town site Cost benefit for netball court resurface v relocation Cost benefit for hockey surface / Cost benefit for multipurpose tennis and hockey surface Changeroom design Gym design Bar access Rationalisation Staged process	Shire of Kondinin Hyden Sports Council
Short term	E	Kondinin Water Storage	Plan for improved water capture, storage and use on Kondinin playing surfaces	Shire of Kondinin Water Corporation Kondinin Community Recreation Council Kondinin Kulin Football Club KK Vipers Hockey Club
Short term	E	Kondinin Pavilion Plan	Design for improvements at the pavilion	Shire of Kondinin Kondinin Community Recreation Council
Short term	E	Kondinin Bowls resurface	Bowls resurface	Shire of Kondinin Kondinin Bowls Kondinin Community Recreation Council
Short term	E	Hyden Oval Reticulation	Oval reticulation	Shire of Kondinin
Short term	E	Hyden Golf Club ceiling	Replacement of ceiling	Shire of Kondinin Hyden Golf Club
Short term	E	Hyden Recreation Centre (building)	Designs	Shire of Kondinin Hyden Sports Council



<b>Short term</b>	E	Hyden Tennis Club roof	Replacement of roof	Shire of Kondinin Hyden Tennis Club
<b>Short term</b>	E	Hyden Pool Change rooms	Upgrades and improvements to the Hyden Pool Change rooms	Shire of Kondinin
<b>Short term</b>	E	Kondinin Hockey Field	Grass field	Shire of Kondinin Kondinin Community Recreation Council KK Vipers Hockey Club
<b>Short Term</b>	E	Hyden tennis resurface	8 x tennis court resurface and Hotshots Court	Shire of Kondinin Hyden Tennis Club
<b>Medium term</b>	E	Hyden Recreation Centre (pavilion, change rooms and gym)	Building Upgrades	Shire of Kondinin Hyden Karlgarin Football Club Hyden Karlgarin Hockey Club Hyden Sports Council Hyden Karlgarin Pingaring Cricket Club Shire of Kondinin Karlgarin Bowling Club
<b>Medium term</b>	N	Karlgarin Bowls Clubroom	Clubroom	
<b>Medium term</b>	E	Hyden netball courts	Resurface / Colocation	Shire of Kondinin Hyden Netball Club Hyden Sports Council
<b>Medium term</b>	E	Kondinin Pavilion improvements	Pavilion improvements	Shire of Kondinin Kondinin Community Recreation Council
<b>Medium term</b>	E	Hyden Golf Club	Toilet and carpet upgrades	Shire of Kondinin Hyden Golf Club
<b>Long term</b>	E	Hyden Pool lighting	Lighting installation	Shire of Kondinin
<b>Long term</b>	N	Kondinin Skatepark design	Design for an improved stakepark	Shire of Kondinin
<b>Long term</b>	N	Kondinin Skatepark improvements	Skatepark plan implemented	Shire of Kondinin
<b>Long term</b>	E	Kondinin Pool lighting	Install lighting	Shire of Kondinin
<b>Long term</b>	E	Kondinin tennis court resurface	Resurface	Shire of Kondinin Kondinin Tennis Club
<b>Long term</b>	E	Kondinin Golf Club	Minor to the building and storage	Shire of Kondinin Kondinin Golf Club
<b>Long term</b>	E	Hyden Pool	Maintenance on Hyden pool bowl	Shire of Kondinin

Projects that could occur alongside this facilities plan, without a timeframe due to their small asset nature and ability to fund easily.

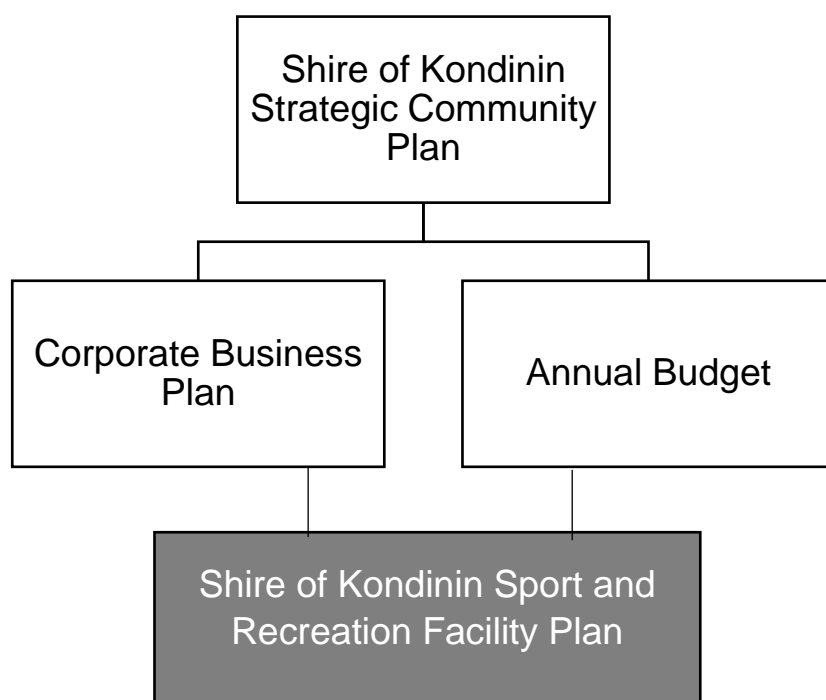
<b>Project</b>	<b>Action</b>	<b>Who</b>
Cricket nets	Landscaping around Hyden cricket nets	Shire of Kondinin
Hyden Oval	Extension of oval – between playing surface and spectator area	Shire of Kondinin
Cricket cover pitches	For both cricket clubs	Shire of Kondinin Hyden Karlgarin Pingaring Cricket Club Kulin Kondinin Cricket Club
Bumper boards	For both tennis clubs	Shire of Kondinin Kondinin Tennis Club Hyden Tennis Club
Karlgarin Oval Fence	Replacement and maintenance	Shire of Kondinin Hyden Karlgarin Pingaring Club Club

### Relationship to Shire Plans

Asset Management Plan: There has been no allocation in the asset management plan for the receipt of sport and recreation grants to improve facilities.

Identification of sport and recreation facility maintenance and upgrades in the asset management plan:

Kondinin sports pavilion roof	\$35,000	2020/21 – 2025/26	Will now be included in whole of Pavilion upgrades
Swimming Pool Building renewal	\$400,000	2022/23	Scaled back and brought forward due to drought funding eligibility
Hyden Recreation Centre	\$65,000	2020/21	Planning stage
Kondinin Bowling Green resurface and Kondinin oval reticulation	\$271,358	2018/19 – 2020/21	Kondinin oval reticulation completed Kondinin bowling green resurface in progress
Sports Courts reseal	\$123,209	2018/19 – 2022/23	Allocation towards any reseal
Hyden Tennis Club	\$30000	2020/21	Planning stage
Karlgarin Oval Fence	\$25000	2019/20 – 2020/21	Completed 2020



## 5. Sport and Recreation Funding

The following are possible sources for the implementation of this plan.

### **Community Sporting and Recreation Facilities Fund (DLGSC)**

The Western Australian Government commits to funding sport and recreation through the Community Sporting and Recreation Facilities Fund (CSRFF). The purpose of the program is to provide financial assistance to community sport and local governments to develop basic infrastructure for sport and recreation. The program aims to maintain or increase participation in sport and recreation with an emphasis on physical activity, through rational development of good quality, well designed and well-utilised facilities. The maximum grant offered for standard grant applications is one third of the total estimated project cost (excluding GST) up to a maximum grant of \$2 million. Some applications will be eligible for up to one half of the project cost if they are eligible through the development bonus scheme and target specific criteria.

CSRFF can fund new or upgraded facilities which will maintain or increase physical activity or result in a more rational use of facilities. Priority will be given to projects that lead to facility sharing and rationalisation. The program is not designed to provide facilities to meet a club's ambitions to compete in a higher grade.

Clubrooms including social space, kitchen, administration areas and viewing areas will be considered low priority as they are not directly linked to physical activity. Resurfacing projects are unlikely to be funded through CSRFF and would only be funded at a 16.66% rate as it is expected that facility managers will budget for resurfacing of existing sport surfaces as part of the ongoing operation of infrastructure.

### **Building Better Regions Fund**

The \$1.04 billion Building Better Regions Fund (BBRF) supports the Australian Government's commitment to create jobs, drive economic growth and build stronger regional communities into the future. The Infrastructure Projects Stream: Supports projects that involve construction of new infrastructure, or the upgrade or extension of existing infrastructure and the Community Investments Stream: Funds community development activities including, but not limited to, new or expanded local events, strategic regional plans, leadership and capability building activities.

## 6. Appendices

### Key Definitions

**Recreation** (i.e. active recreation) activities are those involving physical exertion where the primary focus is individual or group participation and enjoyment over elements of competition where rules and patterns of behaviour govern the activity. Active recreation does not include 'active work' or 'active living'. For the purpose of this plan any reference to 'recreation' is defined as 'active recreation'.

**Sport** is a human physical activity involving physical exertion and skill as the primary focus of the activity, with elements of competition where rules and patterns of behaviour governing the activity exist formally through organisations and is generally recognised as a sport. Map of Shire of Kondinin Sport and Recreation Facilities

## Facilities in the Shire of Kondinin

### KONDININ

- A. Kondinin Pavilion and Country Club (Community Recreation Centre) with Bowls, Oval, Hockey Field and Recreation Centre, Tennis and Netball Courts
- B. Kondinin Aquatic Centre & Bill Smoker Room
- C. Kondinin Golf Club – 18 holes and clubroom





## KARLGARIN

H. Karlgarin Pavilion – Oval and clubroom catering for cricket.

I. Karlgarin Bowling Club – Club room and bowling green



## HYDEN

D. Hyden Recreation Centre and playing fields – recreation centre, catering for football, cricket, hockey and netball

E. Hyden Tennis Club – 8 courts and club room

F. Hyden Golf Course – 18-hole course based around Wave Rock.

G. Hyden Swimming Pool





## CSRFF

CSRFF aims to increase physical activity and participation in sport and active recreation in Western Australia. CSRFF has several priorities to achieve this goal.

Some of the priority considerations for CSRFF include:

- Projects that will directly lead to an increase in physical activity or participation.
- Projects that lead to facility sharing between clubs, or rationalization of existing facilities to increase sustainability.
- Projects to upgrade facilities to make them more accessible for female participants (e.g. changerooms with lockable showers and no urinals).
- Projects in a location with a significant Aboriginal population that will increase participation or physical activity.

The type of projects which will be considered for funding include:

- New playing surfaces — ovals, courts, synthetic surfaces etc.
- Floodlighting projects (must be to Australian Standards)
- Change rooms and ablutions
- Sports storage

The types of projects which are eligible for funding, but will be considered a lower priority for funding are:

- Clubrooms including social space, kitchens, training rooms and administration areas (due to their minimal impact on physical activity).
- Shade shelters, viewing areas and verandahs (due to their minimal impact on physical activity).
- Resurfacing of existing sports surfaces such as courts and bowling greens. It is expected that facility managers will budget for these items as part of the ongoing operation of the facility, frequently over 7 to 10 years. If supported the project will likely attract a reduced funding percentage

Any project that does not achieve the aim of the fund to increase physical activity or participation in sport and active recreation will not be considered. Other funding bodies such as Lotterywest may provide funding for these facilities (e.g. arts, music, craft and passive recreation such as cards or men sheds)

Some other projects that are ineligible for funding through CSRFF include:

- Projects that have commenced or will commence before approvals are announced.
- Development of privately-owned facilities or commercial spaces.
- Arts, music and craft facilities.
- Maintenance or operating costs of existing facilities.
- Purchase of land, landscaping, car parks, access roads and other infrastructure costs.

- Playgrounds.
- Bikeways or pathways.
- Non land-based facilities, e.g. boat launching ramps, ocean pools and marinas.
- Non-fixed equipment or fixed sports specific equipment (for instance electronic targets, scoreboards).
- Facilities or fixtures for the express purpose of serving alcohol.
- Projects that do not meet Australian Standards and National Construction Code

## PROJECT PLANS

### PROJECT: Hyden Sports Surface and Facilities Precinct Plan

**1. Project Description:** Forward plan all playing surfaces and facilities in the Hyden Recreation Centre Precinct

#### 2. Reasoning:

The Hyden Sports Council has been working closely with affiliated clubs to forward plan the Hyden sporting precinct over the last few years. There is a strong desire to see co-located surfaces and facilities as well as one day sport.

The Hyden netball courts are coming up for resurfacing (5-10yrs) and will continue to be resurfaced going into the future. Consideration towards relocation v resurfacing in the master plan

The Hyden tennis courts will be coming up for resurfacing (1-5yrs)

The hockey field requires watering and supply may be an issue in future years (drying climate)

The Karlgarin Hyden Hockey club would like toilets closer to their playing field as well as greater connection to the pavilion.

There are no women's change rooms at the Recreation Centre

There is a lack of storage for sports clubs.

A multipurpose tennis / hockey surface may be explored OR a netball / tennis hardcourt may be explored (colocation)

#### 3. Scope of Works:

- Develop a surface and facility precinct plan

**4. Club:** Hyden Sports Council, Karlgarin Hyden Hockey Club, Hyden Netball Club, Hyden Karlgarin Football Club, Hyden Karlgarin Pingaring Cricket Club, Hyden Tennis Club

**5. Budget:** \$10K

**6. Replacement Cost:**

**7. Commitment:** Hyden Sports Council working with clubs on a precinct plan

#### 8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Plan					

#### 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	
		Social and community	Human capital uplift Social inclusion Disaster response / community meeting place
		Environmental	Green space benefit
		Economic	Increased economic activity
	Participant Assessment	Current	
		Future	
		Multiuse	Co-location Retention and increase in membership
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Costing	Resource Requirements	\$10K – planning fees	
	Complexity	Medium	
	Risks	Collaboration amongst clubs	
	Funding sources	Internal	

## PROJECT: Kondinin Water Access and Storage

**1. Project Description:** Reliable water supply to the Kondinin Oval and Hockey Field

### 2. Reasoning:

Lack of water affects the grass and quality of the playing surfaces.

This asset has had significant investment by the Shire in previous years

Engagement with Water Corp to access water to Yerrakine Dam and then into town

### 3. Scope of Works:

- Resolve water supply issues with Water Corporation
- Install water storage

**4. Club:** Kondinin Community Recreation Council, KK Football Club, KK Vipers Hockey Club

**5. Budget:** \$50K

### 6. Replacement Cost:

**7. Commitment:** The Shire of Kondinin will work with the Water Corp to resolve water access issues

### 8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Plan / Agreement	Storage				

### 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Facility category:

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits A reduced risk of accidents
		Social and community	Disaster response / community meeting place
		Environmental	Green space benefit
		Economic	Increased visitation
	Participant Assessment	Current	Retention of members Home games
		Future	
		Multiuse	

	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Costing	Resource Requirements	\$50K	
	Complexity	Medium	
	Risks	Access to the dam Water Corp agreement	
	Funding sources	Internal	

## PROJECT: Kondinin Hockey Field

### 1. Project Description: Grass Field

### 2. Reasoning:

Water access and storage should be determined and secured before the grass is replanted on the current field

Grass field will enable home games for the hockey club (currently share with football club)

### 3. Scope of Works:

- Resolve water supply issues with Water Corporation
- Levelling field and planting grass, reticulation

### 4. Club: Kondinin Community Recreation Council, KK Vipers Hockey Club

### 5. Budget: \$135K

### 6. Replacement Cost:

**7. Commitment:** The Shire of Kondinin will work with the Water Corp to resolve water access issues, KCRC and KK Vipers \$45K

### 8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Grants	Construct				

### 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits
		Social and community	Social inclusion Disaster response / community meeting place Community pride Positive role modelling
		Environmental	Green space benefit
		Economic	
	Participant Assessment	Current	Retention of members
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	

		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Costing	Resource Requirements	\$135K	
	Complexity	Low	
	Risks	Access to the dam Water Corp agreement	
	Funding sources	Internal KCRC Club CSRFF	



## PROJECT: Kondinin Pavilion

**1. Project Description:** Improve the Kondinin Pavilion change rooms and minor upgrades

### 2. Reasoning:

Pavilion used for Winter and Summer sports. Pavilion is ageing.

### 3. Scope of Works:

- Design additions and modifications – improved disabled access and access throughout the building, water capture and storage, women's change rooms, larger gathering area, umpire room and shower, new roof and modernisation of kitchen

**4. Club:** Kondinin Community Recreation Council, Kulin Kondinin KK Vipers Hockey Club, Kondinin Kulin Cricket Club; Kondinin Kulin Football Club.

**5. Budget:** \$750,000

**6. Replacement Cost:**

**7. Commitment:** KCRC \$350,000

### 8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
	Plan	Design and grants		Construct	

### 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	
		Social and community	Human capital uplift Social inclusion Community pride Disaster response / community meeting place
		Environmental	
		Economic	Increased economic activity
	Participant Assessment	Current	Retention of members
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	

		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
		Alignment to SSA	
Costing	Resource Requirements	\$750K	
	Complexity	Low	
	Risks		
	Funding sources	Internal KCRC CSRFF	

## PROJECT: Kondinin Bowling Greens

**1. Project Description:** Replace the Kondinin Bowls surface

**2. Reasoning:** End of life cycle

**3. Scope of Works:**

- New bowling rink surface

**4. Club:** Kondinin Bowling Club, Kondinin Community Recreation Council

**5. Budget:** \$140K

**6. Replacement Cost:**

**7. Commitment:** Kondinin Bowls Club \$60K

**8. Timeframe:**

20/21	21/22	22/23	23/24	24/25	25/26
Grants	Construct				

## 10. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits
		Social and community	Human capital uplift Social inclusion Positive role modelling
		Environmental	
		Economic	
	Participant Assessment	Current	Membership retention
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
		Alignment to SSA	
Costing	Resource Requirements	\$140K	
	Complexity	Low	

	Risks	
	Funding sources	Internal Club CSRFF

## PROJECT: Hyden Oval Reticulation

**1. Project Description:** Reticulation for the Hyden Oval

**2. Reasoning:** Preservation of the asset so that it can be used for Winter and Summer sports

**3. Scope of Works:**

- Installation of reticulation at the Hyden Oval

**4. Club:** Shire owned facility

**5. Budget:** \$100K

**6. Replacement Cost:**

**7. Commitment:** Shire owned facility and ongoing maintenance

**8. Timeframe:**

20/21	21/22	22/23	23/24	24/25	25/26
Construct					

## 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	
		Social and community	Human capital uplift Social inclusion Community pride Disaster response / community meeting place
		Environmental	Green space benefit
		Economic	Increased visitation
	Participant Assessment	Current	Membership retention Community and visitor use
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local

		Alignment to SSA	
Costing	Resource Requirements	\$100k	
	Complexity	Low	
	Risks		
	Funding sources	Internal	

## PROJECT: Golf Clubs

**1. Project Description:** Minor improvements to the Hyden golf clubhouse and at the Kondinin golf club

### 2. Reasoning:

Hyden Golf clubroom ceiling needs replacement as it may be dangerous in years to come

Solar panels on the Kondinin Golf Shed for buggy charge station, extra storage space

### 3. Scope of Works:

- Hyden Golf Club ceiling replacement
- Kondinin shed construction and solar panels

**4. Club:** Kondinin Golf Club, Hyden Golf Club, Kondinin Community Recreation Committee, Hyden Sports Council

### 5. Alignment to Kondinin Sport and Recreation Plan:

**6. Budget:** \$60K

### 7. Replacement Cost:

**8. Commitment:** Golf Clubs \$5K each

### 9. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
		Hyden			Kondinin

### 10. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Facility category:

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	
		Social and community	Human capital uplift Social inclusion
		Environmental	
		Economic	Increased visitation
	Participant Assessment	Current	Membership retention
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	

		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
		Alignment to SSA	
Costing	Resource Requirements	\$60K	
	Complexity	Low	
	Risks		
	Funding sources	Internal Clubs	



## PROJECT: Hyden Recreation Centre

**1. Project Description:** Upgrade the Hyden Recreation Centre in line with the precinct plan

### 2. Reasoning:

Hyden Recreation Centre serves the Winter sports of football and hockey and the Summer sport of cricket. Going forward the netball club may use the Recreation Centre if they co-locate.

The Recreation Centre upgrades will include an expansion and upgrade of change rooms for home and away teams, so too women as these are currently inadequate.

Inclusion of an improved gym space with access outside of hours.

### 3. Scope of Works:

- Womens and away team change rooms
- Gym construction
- Storage space
- Improved spectator viewing and meeting space
- Co-location and use of kitchens, canteen access etc

**4. Club:** Karlgarin Hyden Hockey Club, Hyden Netball Club, Hyden Tennis Club, Hyden Karlgarin Football Club, Hyden Karlgarin Pingaring Cricket Club, Hyden Sports Council

**5. Budget:** \$100K design and \$2m construction

### 6. Replacement Cost:

**7. Commitment:** Hyden Sports Council \$350K

### 8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Plan	Design and grants	Construct			

### 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits A reduced risk of accidents
		Social and community	Human capital uplift Social inclusion

			Disaster response / community meeting place Community pride
		Environmental	
		Economic	
	Participant Assessment	Current	Membership retention
		Future	Gym membership (new)
		Multiuse	Co-location of clubs
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Alignment to SSA			
Costing	Resource Requirements	\$2m plus	
	Complexity	Medium	
	Risks	Management of club aspirations with affordability	
	Funding sources	Internal CSRFF Clubs Hyden Sports Council	

## PROJECT: Karlgarin Bowls Club

**1. Project Description:** Upgrade the Karlgarin Bowls Clubroom

**2. Reasoning:** Currently the clubroom has asbestos and is split (storage / walkway / kitchen space). No requirement for toilets as there are public toilets within walking distance

**3. Scope of Works:**

- Storage space
- Social area
- Kitchenette

**4. Club:** Karlgarin Bowling Club

**5. Budget:** \$250K

**6. Replacement Cost:**

**7. Commitment:** Karlgarin Bowls Club \$60K

**8. Timeframe:**

20/21	21/22	22/23	23/24	24/25	25/26
	Grants	Construct			

**9. Project Assessment:**

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	A reduced risk of accidents
		Social and community	Human capital uplift Social inclusion Disaster response and community meeting place
		Environmental	
		Economic	
	Participant Assessment	Current	Membership retention
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities

		Significance	Local
		Alignment to SSA	
Costing	Resource Requirements	\$250K	
	Complexity	Medium	
	Risks	Land titles split over the green and current club rooms	
	Funding sources	Internal CSRFF Club	

## PROJECT: Pool Lighting

**1. Project Description:** Upgrade both swimming pools lighting infrastructure to LED lights

**2. Reasoning:** Enables extended swimming hours

**3. Scope of Works:**

- Hyden Swimming Pool lights
- Kondinin Aquatic Centre lights

**4. Club:** Kondinin Community Recreation Committee, Hyden Sports Council, Kondinin Swimming Club, Hyden Swimming Club

**5. Budget:** \$150,000

**6. Replacement Cost:**

**7. Commitment:** Shire owned facility and ongoing maintenance of facility

**8. Timeframe:**

20/21	21/22	22/23	23/24	24/25	25/26	26/27
				Grant	Hyden	Kondinin

## 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits A reduced risk of accidents
		Social and community	Human capital uplift Social inclusion A reduction in crime and anti social behaviour
		Environmental	
		Economic	Increased visitation Employment Increased economic activity
	Participant Assessment	Current	
		Future	Increased patronage
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life

			stages across the three communities
		Significance	Local
		Alignment to SSA	
Costing	Resource Requirements	\$150K	
	Complexity	Low	
	Risks		
	Funding sources	Internal CSRFF	

## PROJECT: Hyden Tennis Club Roof

**1. Project Description:** Improved protection of tennis clubroom

**2. Reasoning:** Leaking and ongoing asset preservation

**3. Scope of Works:**

- Shed over the Hyden Tennis Club

**4. Club:** Hyden Tennis Club

**5. Budget:** \$50K

**6. Replacement Cost:**

**7. Commitment:** Hyden Tennis Club \$10K

**8. Timeframe:**

20/21	21/22	22/23	23/24	24/25	25/26
Construct					

## 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	
		Social and community	Social inclusion
		Environmental	
		Economic	
	Participant Assessment	Current	Membership retention
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Costing	Resource Requirements	\$50K	
	Complexity	Low	
	Risks		
	Funding sources	Internal Club	

## PROJECT: Hyden Pool Change rooms

**1. Project Description:** Improvements to the Hyden Swimming Pool change rooms

**2. Reasoning:** Change rooms are currently open air and ageing

**3. Scope of Works:**

- Womens and mens change rooms covered
- Internal aesthetic improvements and modernisation

**4. Club:** Shire of Kondinin owned facility

**5. Budget:** \$100K

**6. Replacement Cost:**

**7. Commitment:** Shire of Kondinin owned facility and ongoing maintenance

**8. Timeframe:**

20/21	21/22	22/23	23/24	24/25	25/26
Construct					

## 10. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Reduced risk of accidents
		Social and community	Personal health benefits Social inclusion
		Environmental	
		Economic	Employment Increased visitation
	Participant Assessment	Current	
		Future	Increased patronage
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
		Alignment to SSA	
Costing	Resource Requirements	\$100K	



	Complexity	Low
	Risks	
	Funding sources	Internal Drought Funding

## PROJECT: Hyden Tennis Court Resurface

**1. Project Description:** Resurface all eight tennis courts

**2. Reasoning:** Line markings are raising up, wearing in some areas, splitting at seams, all eight courts are ageing and unable to be patched up

**3. Scope of Works:**

- Replace front four tennis courts – synthetic surface

**4. Club:** Hyden Tennis Club

**5. Budget:** \$300K

**6. Replacement Cost:**

**7. Commitment:** Hyden Tennis Club \$120K

**8. Timeframe:**

20/21	21/22	22/23	23/24	24/25	25/26
	Grants	Construct			

## 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits A reduced risk of accidents
		Social and community	Human capital uplift Social inclusion Positive role modelling Community pride Elite sporting outcomes
		Environmental	
		Economic	
	Participant Assessment	Current	Membership retention
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
		Alignment to SSA	

Costing	Resource Requirements	\$300K
	Complexity	Low
	Risks	
	Funding sources	Internal CSRFF Club

## PROJECT: Hyden Swimming Pool Bowl

**1. Project Description:** Maintenance and improvements to the Hyden Swimming Pool

**2. Reasoning:** Asset renewal

**3. Scope of Works:**

- Maintenance of Hyden Swimming Pool

**4. Club:** Shire of Kondinin owned facility

**5. Budget:** \$150K

**6. Replacement Cost:**

**7. Commitment:** Shire of Kondinin owned facility and ongoing maintenance

**8. Timeframe:**

24/25	25/26	26/27	27/28	28/29	29/30
			Grants		Construct

## 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits A reduced risk of accidents
		Social and community	Human capital uplift Social inclusion Positive role modelling A reduction in crime and anti social behaviour
		Environmental	
		Economic	Increased visitation Employment Increased economic activity
	Participant Assessment	Current	Retention of patronage
		Future	Increased patronage
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local

		Alignment to SSA	
Costing	Resource Requirements	\$150K	
	Complexity	Low	
	Risks		
	Funding sources	Internal CSRFF	

## PROJECT: Kondinin Skate Park

**1. Project Description:** Upgrade the Kondinin Skatepark

**2. Reasoning:** Recreation and leisure space for Kondinin youth and visitors

**3. Scope of Works:**

- Upgrade skatepark (equipment, landscaping etc)

**4. Club:** Shire of Kondinin owned facility

**5. Budget:** \$10K design, \$100K construction

**6. Replacement Cost:** Shire of Kondinin owned facility and ongoing maintenance

**7. Commitment:**

**8. Timeframe:**

24/25	25/26	26/27	27/28	28/29	29/30
Plan			Grants		Construct

## 9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefit
		Social and community	Social inclusion Reduction in crime and anti social behaviour
		Environmental	Green space benefit
		Economic	Increased visitation
	Participant Assessment	Current	
		Future	Increased local and visitor use
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Costing	Resource Requirements	\$110K	
	Complexity	Low	
	Risks		

	Funding sources	Internal CSRFF BBRF Lotterywest
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## UPDATE ON SHIRE OF KONDININ SPORT AND RECREATION FACILITIES PLAN MAY 2023

### Facility Planning

Since the initial workshops, the Shire of Kondinin and sports clubs have developed the following list of short term (1-2yrs), medium term (3-5yrs) and long term (5yrs plus) significant facility projects. *(Extracted from Shire of Kondinin Sport and Recreation Facilities Plan 2021 – 2031)*

Priority	New or Existing Facility	Facility Recommendation	Action	Who	Update as at 17 <sup>th</sup> May 2023
Short term	E	Hyden Sports Facilities Precinct Plan	Masterplan of sports surfaces and facilities in the Hyden town site Cost benefit for netball court resurface v relocation Cost benefit for hockey surface / Cost benefit for multipurpose tennis and hockey surface Changeroom design Gym design Bar access Rationalisation Staged process	Shire of Kondinin Hyden Sports Council	<b>Completed in Part</b>  <i>Hyden Sports Precinct Plan Site Plan developed and adopted by Council.</i>  <i>Further analysis may be required dependent on scope of the development of the Hyden Sports Pavilion.</i>
Short term	E	Kondinin Water Storage	Plan for improved water capture, storage and use on Kondinin playing surfaces	Shire of Kondinin Water Corporation Kondinin Community Recreation Council Kondinin Kulin Football Club	<b>Completed</b>  <i>Access and Licence secured with Water Corporation to access water from Yeerakine Rock</i> <i>Community Water Supply Program Funding</i>



				KK Vipers Hockey Club	<i>received from DWER for two new pumps and generators at the Kondinin Town Dam and the Kondinin CBH site respectively to be installed in June 2023.</i>
<b>Short term</b>	E	Kondinin Pavilion Plan	Design improvements at the pavilion	Shire of Kondinin Kondinin Community Recreation Council	<b>Completed</b>  <i>Architect engaged and design brief approved by Council at its Ordinary Meeting held on 16<sup>th</sup> November 2022.</i>  <i>Plans and associated indicative costings presented to Sports Council Committee on the 17<sup>th</sup> May 2023 for information.</i>
<b>Short term</b>	E	Kondinin Bowls resurface	Bowls resurface	Shire of Kondinin Kondinin Bowls Kondinin Community Recreation Council	<b>Completed</b>  <i>Bowling green re-surfaced in 2022 with shared funding from the Kondinin Bowling Club, the Kondinin Community Recreation Council and the Shire of Kondinin.</i>
<b>Short term</b>	E	Hyden Oval Reticulation	Oval reticulation	Shire of Kondinin	<b>Completed</b>  <i>Upgrade to reticulation pipe and pump between oval and dam installed 2023. Complete new reticulated sprinkler system installed in 2021. All funded by Shire of Kondinin.</i>
<b>Short term</b>	E	Hyden Golf Club ceiling	Replacement of ceiling	Shire of Kondinin Hyden Golf Club	<b>Completed</b>  <i>New ceiling installed in 2022 by the Shire of Kondinin via funding through the Local Roads and Community Infrastructure.</i>

<b>Short term</b>	E	Hyden Recreation Centre (building)	Designs	Shire of Kondinin Hyden Sports Council	<b>In Progress</b>  <i>Scope of project still to be determined. Matter presented to 17<sup>th</sup> May 2023 Sports Council Committee for discussion.</i>
<b>Short term</b>	E	Hyden Tennis Club roof	Replacement of roof	Shire of Kondinin Hyden Tennis Club	<b>In Progress</b>  <i>Plans completed and contractor engaged. Works being funded through the Local Roads and Community Infrastructure Program and the Shire of Kondinin to be completed by December 2023.</i>
<b>Short term</b>	E	Hyden Pool Change rooms	Upgrades and improvements to the Hyden Pool Change rooms	Shire of Kondinin	<b>In Progress</b>  <i>Contractor engaged. Works commenced in January 2023 and on track to be completed by June 2023. Works funded through the Local Roads and Community Infrastructure Funding.</i>
<b>Short term</b>	E	Kondinin Hockey Field	Grass field	Shire of Kondinin Kondinin Community Recreation Council KK Vipers Hockey Club	<b>Completed</b>  <i>Works completed in February 2023 and was funding through grant funding received from the Department of Local Government, Sports and Cultural Industries, the Kondinin Community Recreation Council and the Shire of Kondinin.</i>

<b>Medium term</b>	E	Hyden Recreation Centre (pavilion, change rooms and gym)	Building Upgrades	Shire of Kondinin Hyden Karlgarin Football Club Hyden Karlgarin Hockey Club Hyden Sports Council Hyden Karlgarin Pingaring Cricket Club	<b>Not Commenced</b>  <i>Waiting on finalisation of scope of works.</i>
<b>Medium term</b>	N	Karlgarin Bowls Clubroom	Clubroom	Shire of Kondinin Karlgarin Bowling Club	<b>In Progress</b>  <i>Discussions being held with Karlgarin Bowling Club.</i>  <i>Land tenure to be finalised between Shire of Kondinin and Karlgarin Country Club so that all 3 bowling lots are in the one ownership before works can commence.</i>  <i>Settlement papers signed and awaiting settlement date to progress to seek approval from DPLH to create one large crown lot vested in the Shire that accommodates the whole bowling green.</i>
<b>Medium term</b>	E	Hyden tennis resurface	4 x tennis court resurface	Shire of Kondinin Hyden Tennis Club	<b>In Progress</b>  <i>Funded by the Shire of Kondinin, the Hyden Tennis Club and grant funding from the Department of Local Government, Sport and Cultural Industries. Works 90 per cent complete.</i>

<b>Medium term</b>	E	Hyden netball courts	Resurface Colocation /	Shire of Kondinin Hyden Netball Club Hyden Sports Council	<b>Discussion Only</b>  <i>No firm direction to date.</i>
<b>Medium term</b>	E	Kondinin Pavilion improvements	Pavilion improvements	Shire of Kondinin Kondinin Community Recreation Council	<b>In Progress</b>  <i>Plans and costings prepared. Subject to securing funding from KCRC, Council and Grant provider.</i>
<b>Medium term</b>	E	Hyden Golf Club	Toilet and carpet upgrades	Shire of Kondinin Hyden Golf Club	<b>Discussion Only</b>  <i>Shire's Administration have met with Golf Club on site to discuss proposed toilet and shower upgrade and received informal feedback from a plumber and builder.</i>  <i>Golf Club would like considered in the 2024 / 25 financial year so that can host State Sands Competition.</i>
<b>Long term</b>	E	Hyden Pool lighting	Lighting installation	Shire of Kondinin	<b>Not Commenced</b>
<b>Long term</b>	N	Kondinin Skatepark design	Design for an improved skatepark	Shire of Kondinin	<b>Not Commenced</b>  <i>Was raised as part of Playgrounds Survey. Projects Officer looking to engage consultant to prepare design.</i>
<b>Long term</b>	N	Kondinin Skatepark improvements	Skatepark plan implemented	Shire of Kondinin	<b>Not Commenced</b>  <i>Subject to completion of design.</i>
<b>Long term</b>	E	Kondinin Pool lighting	Install lighting	Shire of Kondinin	<b>Not Commenced</b>

<b>Long term</b>	E	Kondinin tennis court resurface	Resurface	Shire of Kondinin Kondinin Tennis Club	<b>Not Commenced</b> <i>Tennis Club and KCRC transfer match funds in a term deposit on annual basis.</i>
<b>Long term</b>	E	Kondinin Golf Club	Minor to the building and storage	Shire of Kondinin Kondinin Golf Club	<b>Not Commenced</b>
<b>Long term</b>	E	Hyden Pool	Maintenance on Hyden pool bowl	Shire of Kondinin	<b>Not Commenced</b>

Projects that could occur alongside this facilities plan, without a timeframe due to their small asset nature and ability to fund easily. *(Extracted from Shire of Kondinin Sport and Recreation Facilities Plan 2021 – 2031)*

<b>Project</b>	<b>Action</b>	<b>Who</b>	<b>Status Update</b>
Cricket nets	Landscaping around Hyden cricket nets	Shire of Kondinin	<b>IN PROGRESS</b>  <i>Has been included in Shire Gardener's scope of works to tidy up area around Hyden cricket net.</i>  <i>Hyden Cricket Club to be asked again to remove the old cricket net.</i>
Hyden Oval	Extension of oval – between playing surface and spectator area	Shire of Kondinin	<b>IN PROGRESS</b>  <i>In discussions as part of upgrades to Hyden Sports Pavilion.</i>
Cricket cover pitches	For both cricket clubs	Shire of Kondinin Hyden Karlgarin Pingaring Cricket Club Kulin Kondinin Cricket Club	<b>COMPLETED</b>  <i>Both cricket clubs have recently upgraded covers over their cricket pitches.</i>

Bumper boards	For both tennis clubs	Shire of Kondinin Kondinin Tennis Club Hyden Tennis Club	<b>COMPLETED IN PART</b>  <i>New bumper board has been installed at the Hyden Tennis Courts through shared funding from the Shire and the Tennis Club.</i>
Karlgarin Oval Fence	Replacement and maintenance	Shire of Kondinin Hyden Karlgarin Pingaring Club Club	<b>COMPLETED</b>  <i>New fence was completed for Karlgarin Centenary in 2020.</i>  <i>Needs to be fixed in places.</i>