



Attachments

June 2023

9.1 **MANAGER OF PLANNING & ASSETS**

- 9.1.1 Aerial and Land Tenure Maps
- 9.1.2 Plan for Refurbishments of the Kondinin Pavilion
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- 9.1.3 Plans
- 9.1.4 Business Plan & Aerial Plans
- 9.1.5 Plans
- 9.1.6 Plans

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- 9.2.2 Financial Reports

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- 9.4.2 Letter from Lions Club
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- QS Report V.3 2023 (New Build)
- Site Costing Plan (Extension)
- Site Costing Plan (New Build)
- QS Report V.1
- Plans from Architects
- Sports and Recreation Facilities Plan 2021-2031
- Sports and Recreation Facilities Plan 2021-2031 (Action List)

9.1.1 Aerial and Land Tenure Maps



Legend

□ Cadastre (View 1)



Management Order to
DFES for purpose of
"Fire and Emergency
Services and all
ancillary uses".

Management Order to
Shire of Kondinin

Notes:

* The data that appears on the map may be out of date, not intended to be used at the scale displayed, or subject to license agreements. The map should only be used in matters related to Department of Planning, Lands and Heritage business.

* This map is not intended for measurement purposes.

Map was produced using DPLH's InQuiry.

Aerial Map

DPLH BUSINESS USE ONLY

Internal Spatial Viewer



0 0.02 0.05 Kilometres

1: 1,128 at A4

Projection: WGS_1984_Web_Mercator_Auxiliary_Sphere
Graticules (if visible): GDA 1994 Latitude/Longitude

Date produced: 26-May-2023

Legend

□ Cadastre (View 1)



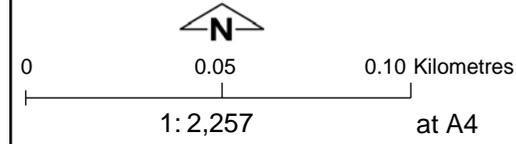
Balance of UCL Lot
331 to be
amalgamated into
Reserve 23640

Management Order to
DFES for the purpose
of "Fire and
Emergency Services
and all ancillary uses".

Aerial Map

DPLH BUSINESS USE ONLY

Internal Spatial Viewer



Projection: WGS_1984_Web_Mercator_Auxiliary_Sphere
Graticules (if visible): GDA 1994 Latitude/Longitude

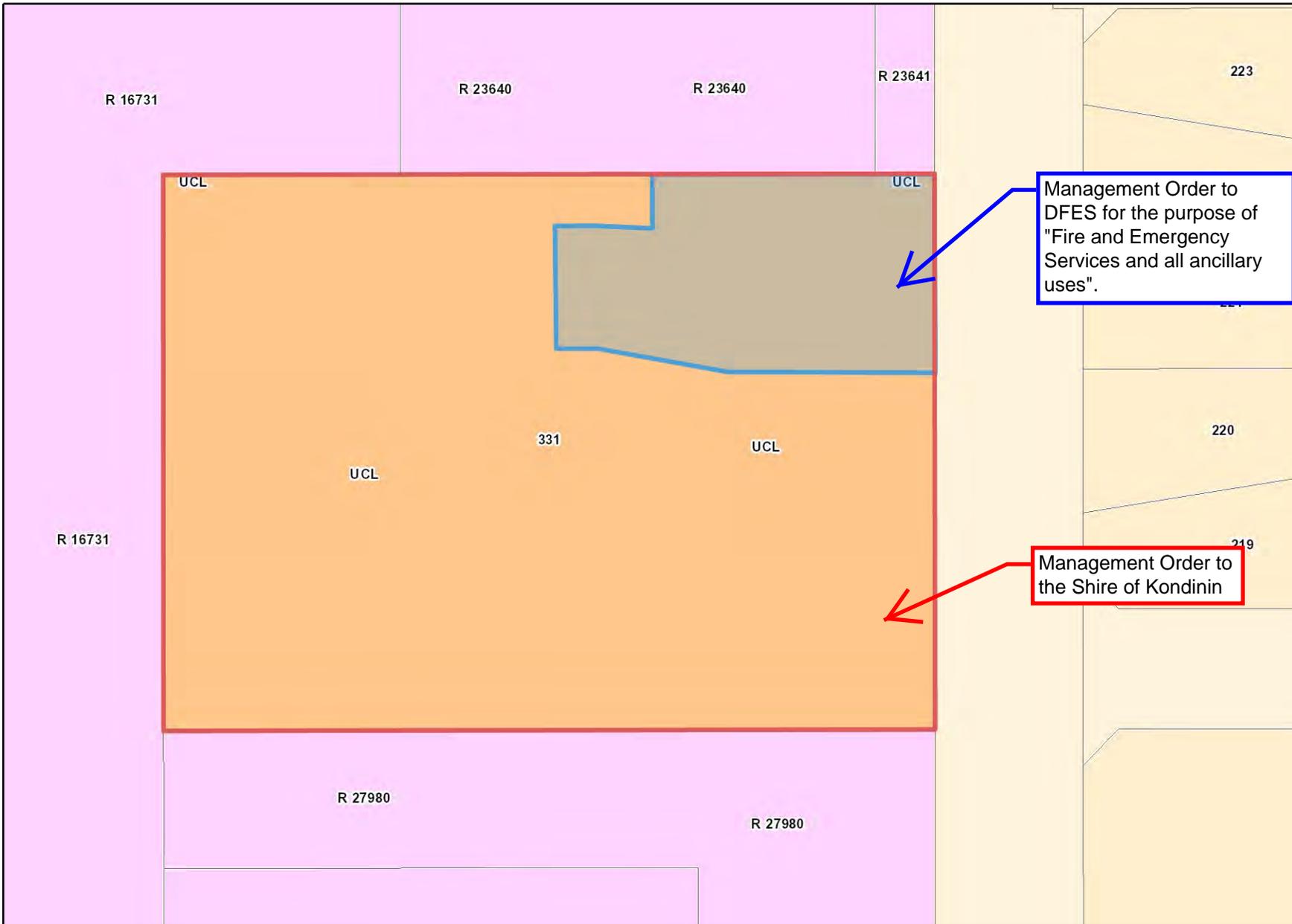
Notes:

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* This map is not intended for measurement purposes.

Map was produced using DPLH's InQuery.

Date produced: 01-Jun-2023



Management Order to DFES for the purpose of "Fire and Emergency Services and all ancillary uses".

Management Order to the Shire of Kondinin

- Legend**
- Cadastre (View 1)
 - Land Tenure Small Scale 64K**
 - Crown Allotment (Type 2)
 - Reserve
 - Land Tenure Small Scale 16K**
 - Crown Allotment (Type 2)
 - Lot on Survey (Type 1)
 - Public Road
 - Unallocated Crown Land
 - Reserve
 - Land Tenure Small Scale 4K**
 - Crown Allotment (Type 2)
 - Public Road

Notes:

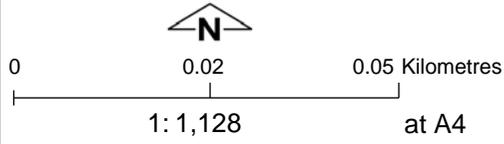
- * The data that appears on the map may be out of date, not intended to be used at the scale displayed, or subject to license agreements. The map should only be used in matters related to Department of Planning, Lands and Heritage business.
- * This map is not intended for measurement purposes.

Map was produced using DPLH's InQuery.

Tenure Map

DPLH BUSINESS USE ONLY

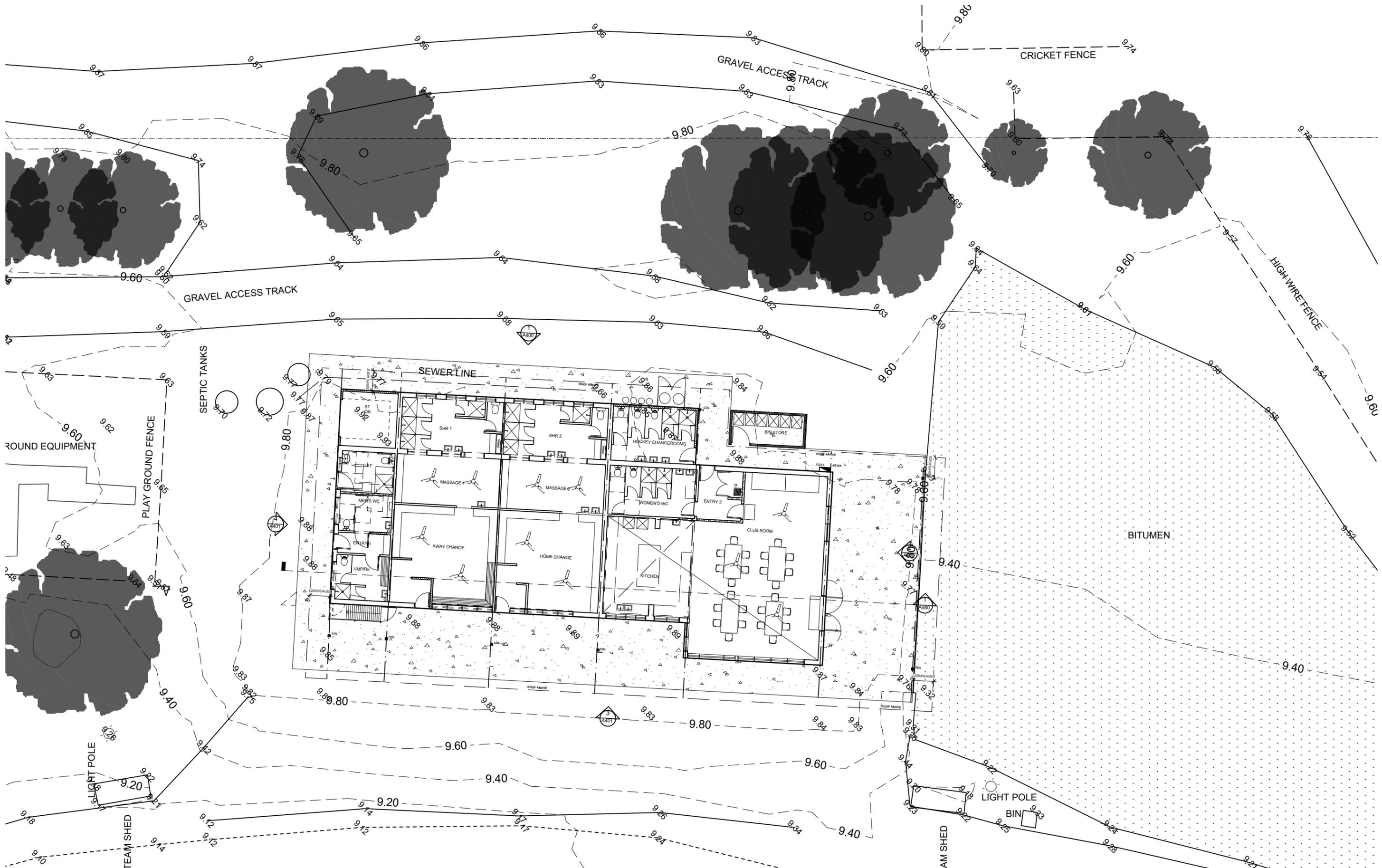
Internal Spatial Viewer



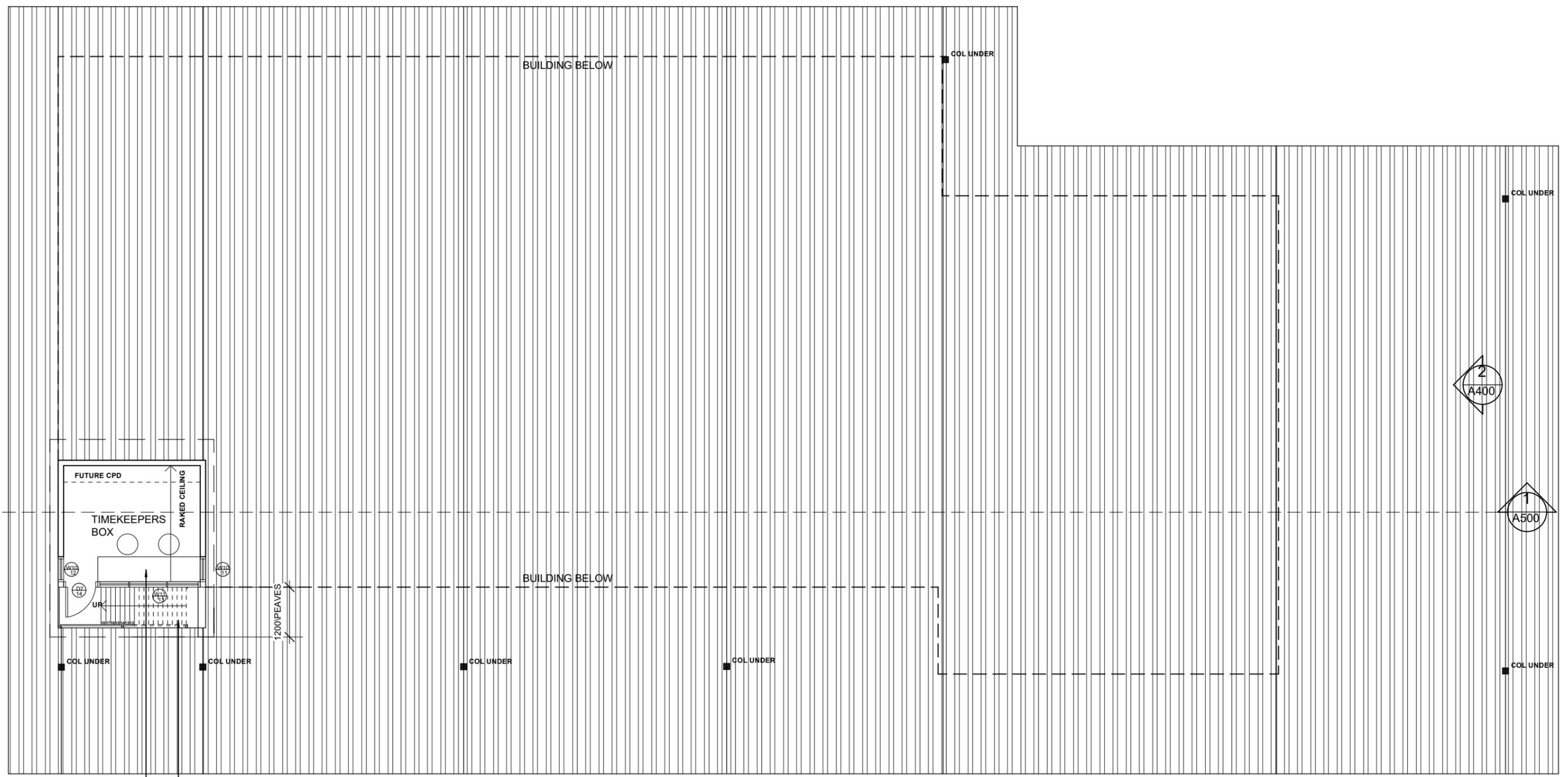
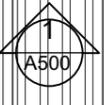
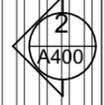
Projection: WGS_1984_Web_Mercator_Auxiliary_Sphere
Graticules (if visible): GDA 1994 Latitude/Longitude

Date produced: **26-May-2023**

9.1.2 Plan for Refurbishments of the Kondinin Pavilion



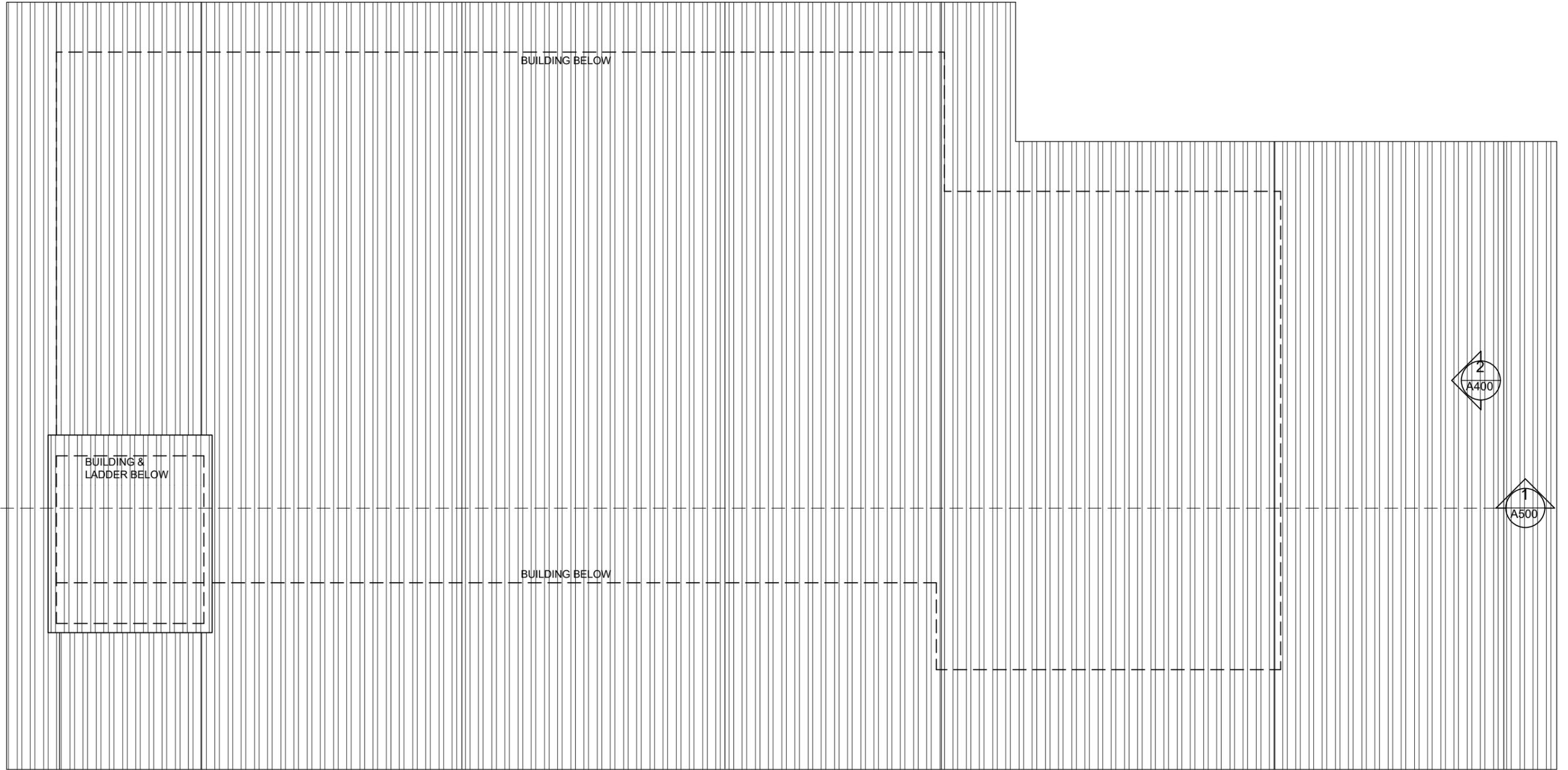
Notes TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate	Project KONDININ PAVILION Client Shire of Kondinin Address 44 Gorden Street, Kondinin, 6367 ORA Project No. 2022-0017	Drawing PROPOSED SITE PLAN Scale 1:100 Drawing No. A110 Date 12/04/2023 Revision A	Project Status: CONCEPT DESIGN © OFFICE OF REGIONAL ARCHITECTURE 2023	 Office of Regional Architecture 2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg# 3315
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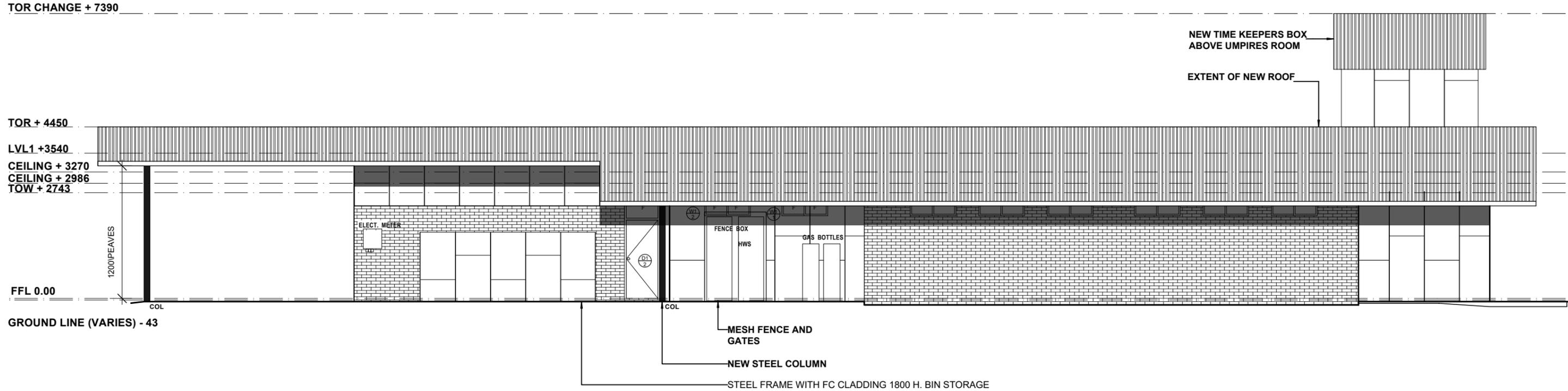
NEW TIMEKEEPERS BOX ABOVE UMPIRES ROOM FFL +3540mm

NEW ACCESS LADDER WITH MESH SURROUND & GATE FOR RESTRICTED ACCESS TO TIME KEEPERS BOX ABOVE

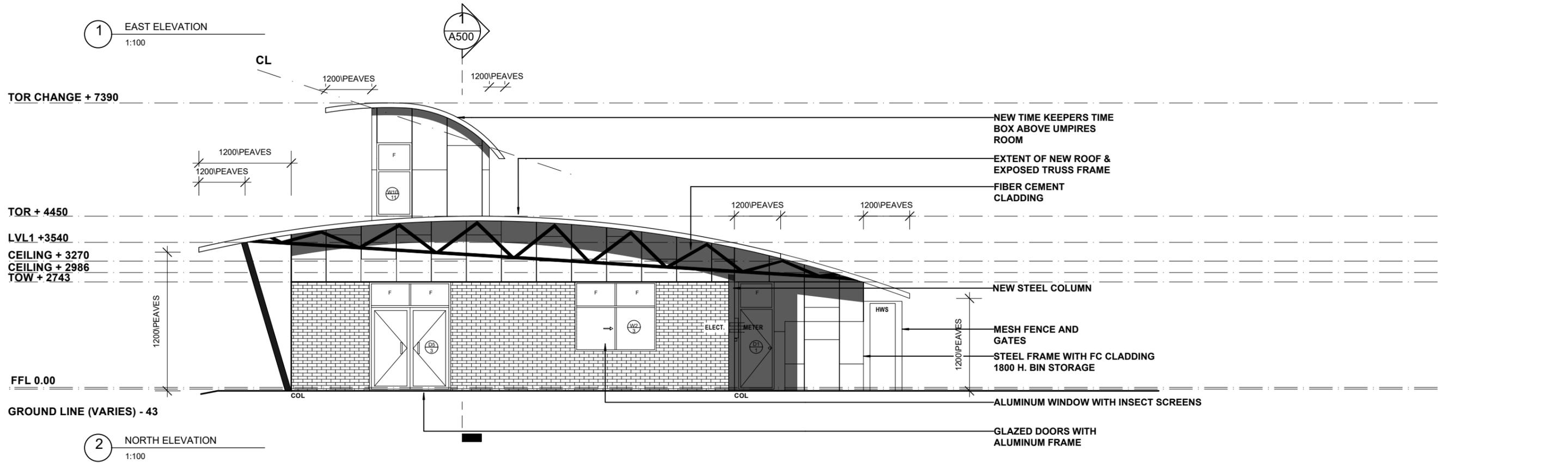
Notes	Project KONDININ PAVILION	Drawing LEVEL 1 FLOOR PLAN	Project Status: Sketch	 <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg# 3315</p>
<p>TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box</p> <p>All roof angles approximate</p> 	<p>Client Shire of Kondinin Address 44 Gorden Street, Kondinin, 6367 ORA Project No. 2022-0017</p>	<p>Scale 1:100 Drawing No. A201 Date 12/04/2023 Revision A</p>	<p>CONCEPT DESIGN</p> <p>© OFFICE OF REGIONAL ARCHITECTURE 2023</p> 	



<p>Notes</p>	<p>Project KONDININ PAVILION</p>	<p>Drawing ROOF PLAN</p>	<p>Project Status: Sketch</p>	<p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg# 3315</p>  <p>Office of Regional Architecture</p> 
<p>TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box</p> <p>FL - @ FFL HEIGHT LF - @ -40mm below FFL</p>  <p>All roof angles approximate</p>	<p>Client Shire of Kondinin</p> <p>Address 44 Gorden Street, Kondinin, 6367</p> <p>ORA Project No. 2022-0017</p>	<p>Scale 1:100 Drawing No. A210</p> <p>Date 12/04/2023 Revision A</p>	<p>CONCEPT DESIGN</p> <p>© OFFICE OF REGIONAL ARCHITECTURE 2023</p>	

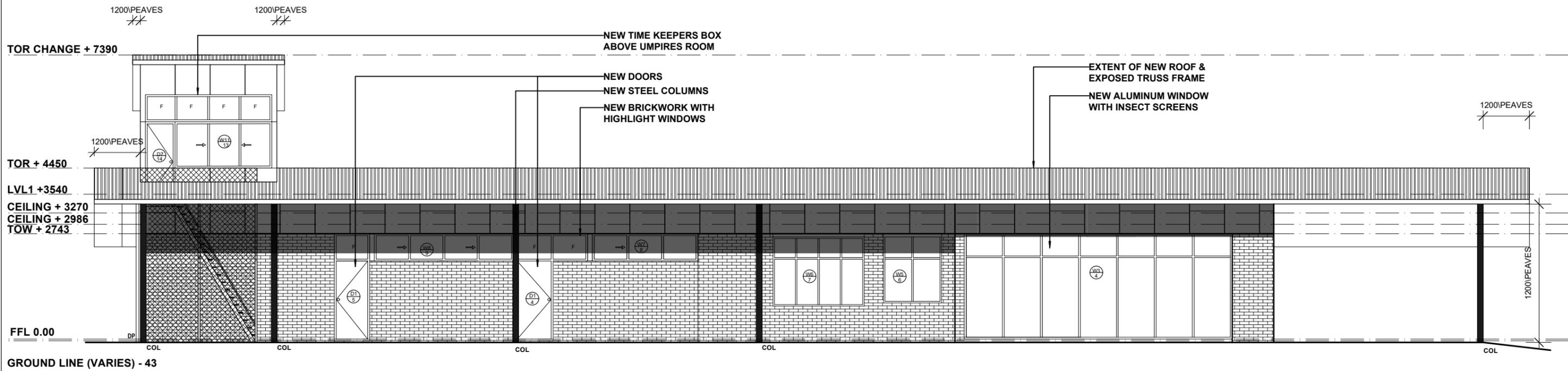


1 EAST ELEVATION
1:100

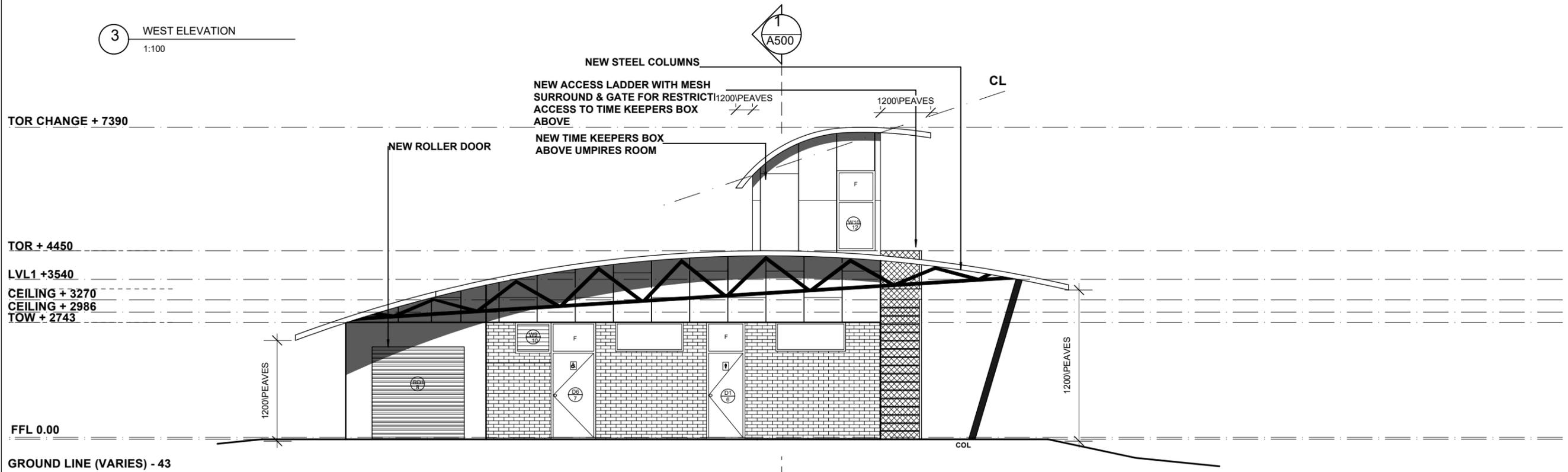


2 NORTH ELEVATION
1:100

Notes	Project KONDININ PAVILION	Drawing ELEVATIONS	Project Status: Sketch
TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box	Client Shire of Kondinin Address 44 Gorden Street, Kondinin, 6367 ORA Project No. 2022-0017	Scale 1:100 Drawing No. A300 Date 12/04/2023	CONCEPT DESIGN
FL - @ FFL HEIGHT LF - @ -40mm below FFL		Revision A	© OFFICE OF REGIONAL ARCHITECTURE 2023
All roof angles approximate			 <p>Office of Regional Architecture</p> <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg# 3315</p>



3 WEST ELEVATION
1:100

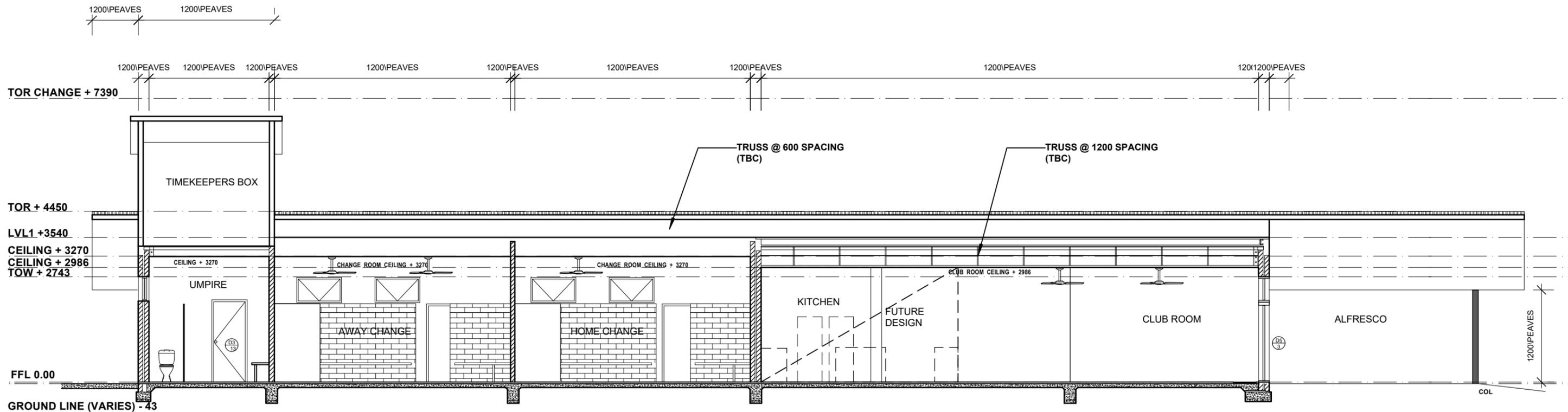


4 SOUTH ELEVATION
1:100

Notes	Project KONDININ PAVILION	Drawing ELEVATIONS	Project Status: Sketch
TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box	Client Shire of Kondinin Address 44 Gorden Street, Kondinin, 6367 ORA Project No. 2022-0017	Scale 1:100 Drawing No. A301 Date 12/04/2023 Revision A	CONCEPT DESIGN
All roof angles approximate			© OFFICE OF REGIONAL ARCHITECTURE 2023

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ABWA Reg # 3315

ORA
Office of Regional
Architecture



1 SECTION AA
1:100

Notes	Project KONDININ PAVILION	Drawing SECTION	Project Status: Sketch
TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box	Client Shire of Kondinin Address 44 Gorden Street, Kondinin, 6367 ORA Project No. 2022-0017	Scale 1:100 Date 12/04/2023	<p>CONCEPT DESIGN</p> <p>© OFFICE OF REGIONAL ARCHITECTURE 2023</p>
FL - @ FFL HEIGHT LF - @ -40mm below FFL		Drawing No. A400 Revision A	
All roof angles approximate			<p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306</p> <p>T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg # 3315</p>

Costings for Refurbishments of the Kondinin Pavilion

West Coast Estimating

30 Parker St
Bassendean WA 6054
A.B.N.
Phone: 0403417627

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

1 Consultants

Consultants

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	For BAL, energy efficiency, engineering etc	0.00	1.00	Each		
1 Consultants Totals:					0.00	0.00

2 Preliminaries

Preliminaries

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Fees Training Fund	Training Levy Fund .20% Total Cost (CTF)	1,200,000.00	0.20	%	2,400.00	2,400.00
Building Levy	Building Services Levy .137%	1,200,000.00	0.14	%	1,644.00	1,644.00
Building Permit	Building Permit Fees Uncertified .32%	1,200,000.00	0.32	%	3,840.00	3,840.00
Footpath Deposit	Footpath/Kerb/Crossover Deposit - no allowance	0.00	0.00	Each		
No Allowance	No allowance for synergy or western power fees	0.00	1.00	Each		
No Allowance	For planning fees	0.00	1.00	Each		
No Allowance	No Allowance for water corporation fees	0.00	1.00	Each		
2 Preliminaries Totals:					7,884.00	7,884.00

3 Insurances

Insurances

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Indemnity Insurance	Indemnity Insurance/Builders Warranty	8,000.00	1.00	Each	8,000.00	8,800.00
Contract Works	Contract Works,Builders Com Insurance (.65% Of Contract)	1,100,000.00	0.65	%	7,150.00	7,865.00
3 Insurances Totals:					15,150.00	16,665.00

4 Repeg/set out

Repeg & set out

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Not Required	Not Required	0.00	1.00	Each		
4 Repeg/set out Totals:					0.00	0.00

5 Demolition

Demolition

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Hire 10m3 Bin	Hire 10m3 Bin	550.00	15.00	Each	8,250.00	9,075.00

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149				Cost Per m2
Description	ORA - Kondinin Pavillion				\$0.00
Client	Office of Regional Architecture				Price Per m2
Site	44 Gordon St, Kondinin WA				\$0.00
Hire Bobcat	Bobcat Hire	120.00	8.00	Hour	960.00
Sundry Items.	Sundry Items, plumbing and electrical disconnections	3,000.00	1.00	Each	3,300.00
Labour (1)(1)	Remove entire roof	600.00	12.00	Day	7,200.00
Labour (1)(1)	Remove windows and doors	600.00	4.00	Day	2,400.00
Labour (1)(1)	Sundry items	600.00	5.00	Day	3,000.00
Labour (1)(1)	Remove carpets	600.00	2.00	Day	1,200.00
Labour (1)(1)	Remove brickwork	600.00	4.00	Day	2,400.00
Labour (1)(1)	Remove all plumbing fixtures, benches	600.00	2.00	Day	1,200.00
Labour (1)(1)	Remove all cabinetry	600.00	3.00	Day	1,800.00
Labour (1)(1)	Assist to break up external concrete	600.00	2.00	Day	1,200.00
Remove Tiles.	Remove And Dispose Of Wall & Floor Tiles	40.00	120.00	m2	4,800.00

5 Demolition Totals: 37,410.00 41,151.00

6 Asbestos removal

Asbestos removal

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum - if any ??	5,000.00	1.00	Each	5,000.00	5,500.00
6 Asbestos removal Totals:					5,000.00	5,500.00

7 Earthworks

Earthworks

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	3,000.00	1.00	Each	3,000.00	3,300.00
7 Earthworks Totals:					3,000.00	3,300.00

8 Soil Stabilisation

Soil stabilisation

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
8 Soil Stabilisation Totals:					0.00	0.00

9 Temporary Fencing

Temporary fencing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	3,000.00	1.00	Each	3,000.00	3,300.00
9 Temporary Fencing Totals:					3,000.00	3,300.00

10 Site Hire

Site hire

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Brickies Scaffolding	Large Brickies Kit Includes Del & Pick	750.00	1.00	Each	750.00	825.00
Toile Hire Chemical	Chemical Toilet Hire Inc Clean Out	45.00	0.00	Week		
Site Shed Hire	Site Shed Hired Per Week	25.00	0.00	Week		

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149				Cost Per m2
Description	ORA - Kondinin Pavillion				\$0.00
Client	Office of Regional Architecture				Price Per m2
Site	44 Gordon St, Kondinin WA				\$0.00
Shed & Toilet Del	Toilet & shed Delivery	100.00	0.00	Each	
Crane Allowance	Crane Allowance Inc Dogman	350.00	0.00	Hour	

10 Site Hire Totals: 750.00 825.00

11 Plumbing

Plumbing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Main plumbing work	25,000.00	1.00	Each	25,000.00	27,500.00
Provisional Sum	Connect into existing tanks - if any ??	5,000.00	1.00	Each	5,000.00	5,500.00
Note	Assumed existing septic are suitable	0.00	1.00	Each		

11 Plumbing Totals: 30,000.00 33,000.00

12 S & I concrete

S & I concrete

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Dig allowance	Dig allowance	150.00	4.00	Hour	600.00	660.00
Concrete Supply.	Concrete Supply	500.00	5.00	m3	2,500.00	2,750.00
Labour (1)(1)	Grano workers	750.00	2.00	Day	1,500.00	1,650.00
SL 62 Mesh	SL62 Mesh	100.00	2.00	Sheet	200.00	220.00
Deliver Reo	Deliver Reo	500.00	1.00	Each	500.00	550.00
Sundry Items.	Sundry Items/unforseens	1,000.00	1.00	Each	1,000.00	1,100.00
Pump Hire	Concrete Pump Hire - may not be required	1,500.00	1.00	Each	1,500.00	1,650.00
Note	Assumptions made - subject to engineering drawings	0.00	1.00	Each		

12 S & I concrete Totals: 7,800.00 8,580.00

13 Sprinkler System

Sprinkler System

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		

13 Sprinkler System Totals: 0.00 0.00

14 Termite treatment

Termite treatment

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	1,000.00	1.00	Each	1,000.00	1,100.00

14 Termite treatment Totals: 1,000.00 1,100.00

15 Steelwork

Steelwork

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	S & I structural steel	25,000.00	1.00	Each	25,000.00	27,500.00

15 Steelwork Totals: 25,000.00 27,500.00

16 Steel door frames

Steel door frames

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Cost	Supply steel door frames - single	350.00	8.00	Each	2,800.00	3,080.00
Cost	Supply steel door frames - double	400.00	2.00	Each	800.00	880.00
Delivery	Delivery Of Materials	300.00	1.00	Each	300.00	330.00
16 Steel door frames Totals:					3,900.00	4,290.00

17 Timber joinery Timber joinery

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
17 Timber joinery Totals:					0.00	0.00

18 Aluminium Joinery Aluminium joinery

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	65,000.00	1.00	Each	65,000.00	71,500.00
18 Aluminium Joinery Totals:					65,000.00	71,500.00

19 Brickwork Brickwork

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Verticlays	Verticlays	1,000.00	1,104.00	Qty	1,104.00	1,214.40
Labour Verticlays	Labour To Lay Verticlays	3,000.00	1,104.00	Qty	3,312.00	3,643.20
St Face Bricks	St Face Bricks - prime cost	1,000.00	1,584.00	Qty	1,584.00	1,742.40
Labour St Face	Labour To Lay St Face	3,000.00	1,584.00	Qty	4,752.00	5,227.20
Cost	Face brick clean	750.00	1.00	Each	750.00	825.00
Brick Sand 9m3	Brick Sand 9m3	700.00	1.00	Each	700.00	770.00
Cement Brickies Grey	Brickies Grey 17.85kg	10.00	20.00	Bag	200.00	220.00
Cement Brickies Lite	Brickies Lite 17.85kg	11.00	20.00	Bag	220.00	242.00
Hardware	Straps, Dampco, Flashing, Wire Ties	1,000.00	1.00	Each	1,000.00	1,100.00
Cost	Brick cartage	1,200.00	1.00	Each	1,200.00	1,320.00
Labour (1)(1)	Brick and labourer - sundry	1,200.00	2.00	Day	2,400.00	2,640.00
19 Brickwork Totals:					17,222.00	18,944.20

20 Stud walls Stud walls

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Wall Frame material	Supply stud wall framing material	50.00	175.00	m2	8,750.00	9,625.00
Labour (1)(1)	Fabricate and stand stud walls	600.00	7.00	Day	4,200.00	4,620.00
20 Stud walls Totals:					12,950.00	14,245.00

21 Roof Roof

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Supply Of Trusses	Supply Of Trusses & Hardware	130.00	630.00	m2	81,900.00	90,090.00
Roof Labour M2	Roof Labour M2 All In Rate	60.00	630.00	m2	37,800.00	41,580.00
Delivery	Delivery Of Materials	1,500.00	1.00	Each	1,500.00	1,650.00
21 Roof Totals:					121,200.00	133,320.00

22 Roof Plumbing

Roof plumbing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Roof Plumbing(1)	S & I Of CB Sheets, Gutters, Downpipes, Flashings, Gshield	150.00	630.00	m2	94,500.00	103,950.00
22 Roof Plumbing Totals:					94,500.00	103,950.00

23 S & I cladding

S & I cladding

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
S & I Wall Cladding	S & I CB Wall Cladding - PS - material unknown	150.00	135.00	m2	20,250.00	22,275.00
23 S & I cladding Totals:					20,250.00	22,275.00

24 Skylights

Skylights

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
24 Skylights Totals:					0.00	0.00

25 Scaffolding

Scaffolding

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	30,000.00	1.00	Each	30,000.00	33,000.00
25 Scaffolding Totals:					30,000.00	33,000.00

26 Electrical

S & I Electrical

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Main electrical work inc light fittings	35,000.00	1.00	Each	35,000.00	38,500.00
26 Electrical Totals:					35,000.00	38,500.00

27 Plastering

Plastering

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Plastering work	6,000.00	1.00	Each	6,000.00	6,600.00
27 Plastering Totals:					6,000.00	6,600.00

28 Ceiling Fixer

Ceiling fixer

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
R4.0 Batts	R4.0 Batts, Supplied & Installed To Ceilings	20.00	310.00	m2	6,200.00	6,820.00

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149				Cost Per m2	
Description	ORA - Kondinin Pavillion				\$0.00	
Client	Office of Regional Architecture				Price Per m2	
Site	44 Gordon St, Kondinin WA				\$0.00	
S & I suspended tile	S & I suspended tiling system To all ceilings	75.00	310.00	m2	23,250.00	25,575.00
Ceiling Fixer S (3)	To S & I Plasterboard To Walls	50.00	50.00	m2	2,500.00	2,750.00
S & I Villaboard	S & I Villaboard - store lining	70.00	20.00	m2	1,400.00	1,540.00

28 Ceiling Fixer Totals: 33,350.00 36,685.00

29 Supply Doors

Supply Doors

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Supply all doors	2,500.00	1.00	Each	2,500.00	2,750.00
29 Supply Doors Totals:					2,500.00	2,750.00

30 Door Hardware

Door Hardware

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Cost	Supply of door hardware	4,000.00	1.00	Each	4,000.00	4,400.00
30 Door Hardware Totals:					4,000.00	4,400.00

31 Mouldings

Mouldings

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Supply of mouldings to match existing	1,500.00	1.00	Each	1,500.00	1,650.00
31 Mouldings Totals:					1,500.00	1,650.00

32 Fixing Carpentry

Fixing Carpentry

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Labour (1)(1)	Fixing carpenter	600.00	10.00	Day	6,000.00	6,600.00
32 Fixing Carpentry Totals:					6,000.00	6,600.00

33 Site Cleans

Site Cleans

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Bin Hire 10m3	Hire Of 10m3 Bin	550.00	10.00	Each	5,500.00	6,050.00
Labour (1)(3)(1)	On Site Labouring	60.00	100.00	Hour	6,000.00	6,600.00
Hire Bobcat	Bobcat Hire	120.00	15.00	Hour	1,800.00	1,980.00
33 Site Cleans Totals:					13,300.00	14,630.00

34 Cabinetry

Cabinetry

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Kitchen cabinets. SS benches	45,000.00	1.00	Each	45,000.00	49,500.00
34 Cabinetry Totals:					45,000.00	49,500.00

35 Tiling

Tiling

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Floor Tiles	Supply Of Floor Tiles	40.00	50.00	m2	2,000.00	2,200.00

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149					Cost Per m2
Description	ORA - Kondinin Pavillion					\$0.00
Client	Office of Regional Architecture					Price Per m2
Site	44 Gordon St, Kondinin WA					\$0.00
Wall Tiles	Supply Of Wall Tiles - assumed quantity	40.00	50.00	m2	2,000.00	2,200.00
Grout & Access(1)	Grout & Access	15.00	100.00	m2	1,500.00	1,650.00
Tile Delivery	Deliver Tiles	500.00	1.00	Each	500.00	550.00
Labour Wall & Floor	Labour To Lay Wall And Floor Tiles	100.00	100.00	m2	10,000.00	11,000.00
Screeding Floor	Screed Floor Ready For Tiling	30.00	50.00	m2	1,500.00	1,650.00
Caulking Labour	Caulking Labour	1,000.00	1.00	Each	1,000.00	1,100.00
Sundry Items.	Sundry Items	1,000.00	1.00	Each	1,000.00	1,100.00
35 Tiling Totals:					19,500.00	21,450.00

36 Waterproofing

Waterproofing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Synthetic Rubber	Synthetic Rubber Waterproofing Floor Of Wet Areas	40.00	50.00	m2	2,000.00	2,200.00
Waterproof Shower	Waterproof Shower	350.00	4.00	Each	1,400.00	1,540.00
36 Waterproofing Totals:					3,400.00	3,740.00

37 Painting

Painting

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Painting	30,000.00	1.00	Each	30,000.00	33,000.00
37 Painting Totals:					30,000.00	33,000.00

38 Washed aggregate

Washed aggregate

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Washed Aggregate	Washed Aggregate Includes Mesh & Sealer PS	170.00	270.00	m2	45,900.00	50,490.00
38 Washed aggregate Totals:					45,900.00	50,490.00

39 Glazing

Glazing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Note	In cabinetry PS	0.00	1.00	Each		
39 Glazing Totals:					0.00	0.00

40 Appliances

Appliances

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Supply hotplates, ovens and rangehoods	15,000.00	1.00	Each	15,000.00	16,500.00
Prime Cost	Supply dishwashers and fridges	10,000.00	1.00	Each	10,000.00	11,000.00
Install dishwasher	Install dishwasher and fridges	1,000.00	1.00	Each	1,000.00	1,100.00
Install Rangehood	Install Rangehoods	1,500.00	1.00	Each	1,500.00	1,650.00
40 Appliances Totals:					27,500.00	30,250.00

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

41 Plumbing Fixtures

Plumbing fixtures

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Plumbing fixtures to all wet areas and kitchen Inc change table, bench seat	20,000.00	1.00	Each	20,000.00	22,000.00
41 Plumbing Fixtures Totals:					20,000.00	22,000.00

42 Hot Water Unit

Hot water units

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Supply hot water units	3,000.00	1.00	Each	3,000.00	3,300.00
Provisional Sum	Screen and gate to surrund HWU	2,500.00	1.00	Each	2,500.00	2,750.00
42 Hot Water Unit Totals:					5,500.00	6,050.00

43 Fencing

Fencing & gates

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
43 Fencing Totals:					0.00	0.00

44 Floor coverings

Floor coverings

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Commercial vinyl	Commercial vinyl flooring inc 150mm cove	100.00	115.00	m2	11,500.00	12,650.00
44 Floor coverings Totals:					11,500.00	12,650.00

45 Concrete Hardstand

Concrete hardstand

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
45 Concrete Hardstand Totals:					0.00	0.00

46 Partitions

Partitions

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	S & I partitions	1,250.00	7.00	Each	8,750.00	9,625.00
46 Partitions Totals:					8,750.00	9,625.00

47 Air conditioning

Air conditioning

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisonal sum - to clubroom only	8,000.00	1.00	Each	8,000.00	8,800.00
47 Air conditioning Totals:					8,000.00	8,800.00

48 Roller door

Roller doors

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Roller door, manual	2,000.00	1.00	Each	2,000.00	2,200.00

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

48 Roller door Totals: 2,000.00 2,200.00

49 Landscaping

Landscaping hard

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		

49 Landscaping Totals: 0.00 0.00

50 Provisional Sums

Provisional sums

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance for fire shutters	0.00	1.00	Each		
Provisional Sum	S & I gate to bin store	1,500.00	1.00	Each	1,500.00	1,650.00
Provisional Sum	New benches to away change	4,000.00	1.00	Each	4,000.00	4,400.00
Provisional Sum	Security screens to home and away	5,000.00	1.00	Each	5,000.00	5,500.00
Provisional Sum	Power circuit requirements	60,000.00	1.00	Each	60,000.00	66,000.00
Provisional Sum	New septic	20,000.00	1.00	Each	20,000.00	22,000.00
Provisional Sum	Hot water units	5,000.00	1.00	Each	5,000.00	5,500.00

50 Provisional Sums Totals: 95,500.00 105,050.00

51 House Clean

House Clean

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Labour (1)(3)(1)	Labour Per Hour	50.00	80.00	Hour	4,000.00	4,400.00

51 House Clean Totals: 4,000.00 4,400.00

52 Contingency

Contingency

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Contingency	Contingency Amount including travel	35,000.00	1.00	Each	35,000.00	38,500.00

52 Contingency Totals: 35,000.00 38,500.00

53 Builders Fees

Builders fees

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Builders Profit	Builders Profit 25%	850,000.00	25.00	%	212,500.00	233,750.00

53 Builders Fees Totals: 212,500.00 233,750.00

54 Maintenance

Maintenance

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Maintenance	Maintenance Items At Defects Liability Period	6,000.00	1.00	Each	6,000.00	6,600.00

54 Maintenance Totals: 6,000.00 6,600.00

55 Hockey Changerooms

Hockey changerooms

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
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Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149				Cost Per m2
Description	ORA - Kondinin Pavillion				\$0.00
Client	Office of Regional Architecture				Price Per m2
Site	44 Gordon St, Kondinin WA				\$0.00
Wall Frame material	Supply stud wall framing material	50.00	30.00 m2	1,500.00	1,650.00
Labour (1)(1)	Fabricate and stand stud walls	600.00	2.00 Day	1,200.00	1,320.00
Provisional Sum	S & I partitions	1,250.00	5.00 Each	6,250.00	6,875.00
Provisional Sum	Plumbing fixtures	7,000.00	1.00 Each	7,000.00	7,700.00
Provisional Sum	Electrical work	3,000.00	1.00 Each	3,000.00	3,300.00
Provisional Sum	Plumbing work	10,000.00	1.00 Each	10,000.00	11,000.00
S & I Tiling	S & I Tiling Complete (Tiles & Labour)	150.00	30.00 m2	4,500.00	4,950.00
Waterproof Shower	Waterproof Shower	350.00	2.00 Each	700.00	770.00
Synthetic Rubber	Synthetic Rubber Waterproofing Floor Of Wet Areas	40.00	20.00 m2	800.00	880.00
S & I Concrete ((1)	S & I Concrete	700.00	4.00 m3	2,800.00	3,080.00
S & I Cladding	S & I Cladding - PS inc painting	180.00	30.00 m2	5,400.00	5,940.00
S & I suspended tile	S & I suspended tiling system	75.00	18.00 m2	1,350.00	1,485.00
Ceiling Fixer S (3)	To S & I Plasterboard To Walls inc insulation	50.00	50.00 m2	2,500.00	2,750.00
Provisional Sum	Painting	1,500.00	1.00 Each	1,500.00	1,650.00
Provisional Sum	S & I entry door and windows complete	4,000.00	1.00 Each	4,000.00	4,400.00
55 Hockey Changerooms Totals:				52,500.00	57,750.00

56 Timekeepers Box

Timekeepers box

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
S & I Floor Structur	S & I Timber Floor Structure	250.00	10.00	m2	2,500.00	2,750.00
Wall Frame material	Supply stud wall framing material	50.00	40.00	m2	2,000.00	2,200.00
Labour (1)(1)	Fabricate and stand stud walls	600.00	2.00	Day	1,200.00	1,320.00
Provisional Sum	Electrical work	1,500.00	1.00	Each	1,500.00	1,650.00
S & I Cladding	S & I Cladding - PS inc painting	180.00	40.00	m2	7,200.00	7,920.00
Ceiling Fixer S (3)	To S & I Plasterboard To Walls and ceiling inc insulation	50.00	40.00	m2	2,000.00	2,200.00
Provisional Sum	Painting	1,500.00	1.00	Each	1,500.00	1,650.00
Provisional Sum	S & I entry door and windows complete	7,000.00	1.00	Each	7,000.00	7,700.00
Provisional Sum	S & I stairs	4,000.00	1.00	Each	4,000.00	4,400.00
56 Timekeepers Box Totals:					28,900.00	31,790.00
Totals:					1,264,116.00	1,389,739.20

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

GST:	125,623.20	125,623.20
Totals	1,264,116.00	1,389,739.20



Dear David,

I write in relation to the outcomes of the meeting of the Sports Council Committee held on the 17th May 2023 on the extension to the Kondinin Pavilion.

The matter was raised at the meeting of the Kondinin Community Recreation Council held on the 24th May 2023 where it was moved as follows:

1. *To proceed with the scope of the Kondinin Pavilion renovation plans as tabled at the Shire's Sports Council Committee meeting, which include the additional change rooms and time keepers box; and*
2. *Commit up to \$300,000 cash contribution towards the cost of the project.*

The Kondinin Community Recreation Council have been working closely with the community in developing the concept plans for this development in collaboration with the Shire and the architect and see the Pavilion renovation as the next step in upgrading our valuable Sporting Precinct in Kondinin and ensuring its use for years to come. With a couple of good seasons we are fortunate to be in a position through the proceeds of our community crop to make a considerable financial contribution towards this project.

We are very appreciative of the support we have received by Council for previous projects, such as the successful renovation of the Kondinin Country Club in which we worked in close collaboration with the Shire in developing the design, securing funding and completing the project.

In order to move this project to the next stage of development, the Kondinin Community and Recreation Council seek Council's financial support together with any other assistance in securing of grant funding and project management.

Thank you for your consideration in this matter,

Kind Regards

Hannah Repacholi

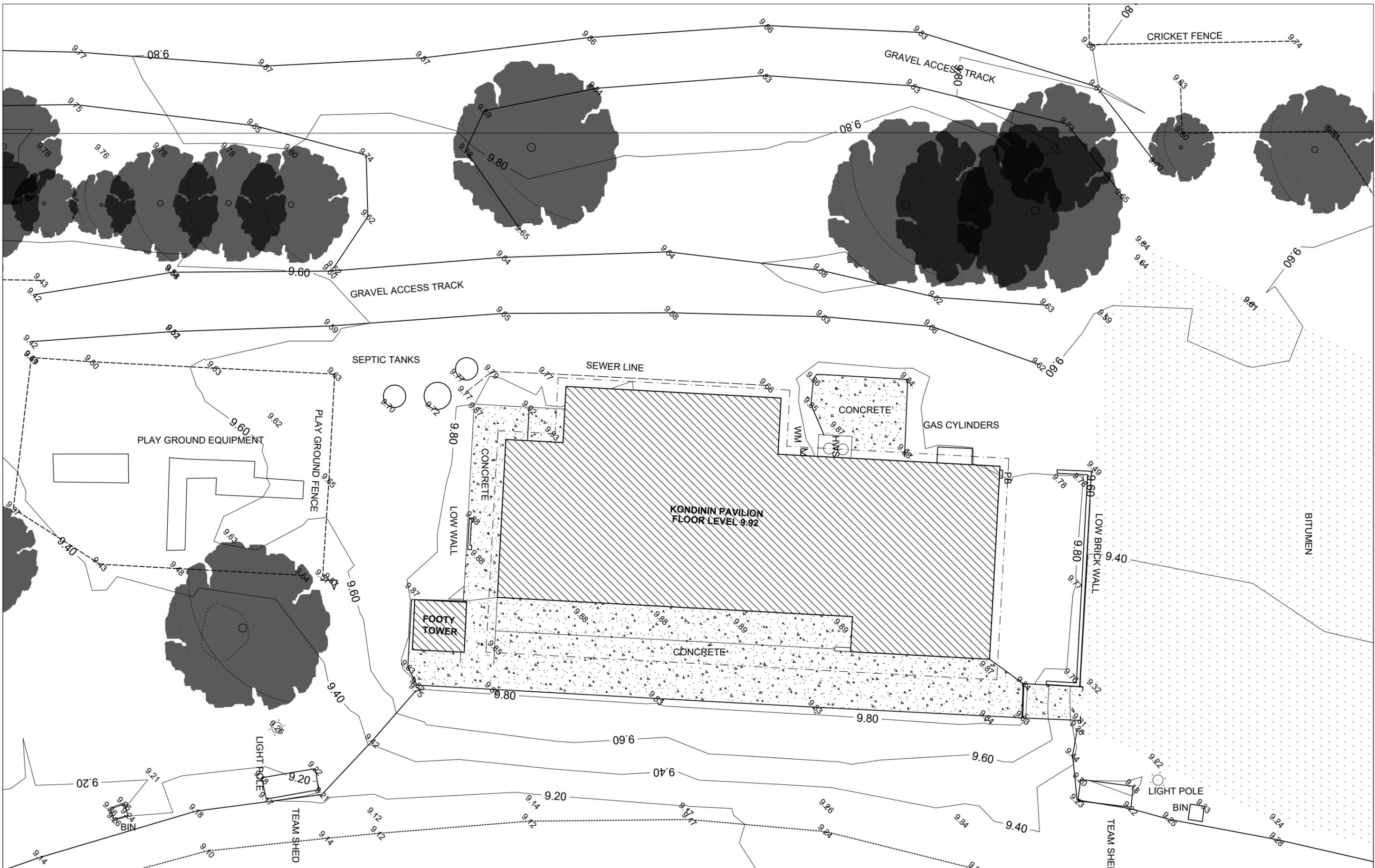
Secretary

Kondinin Community and Recreation Council

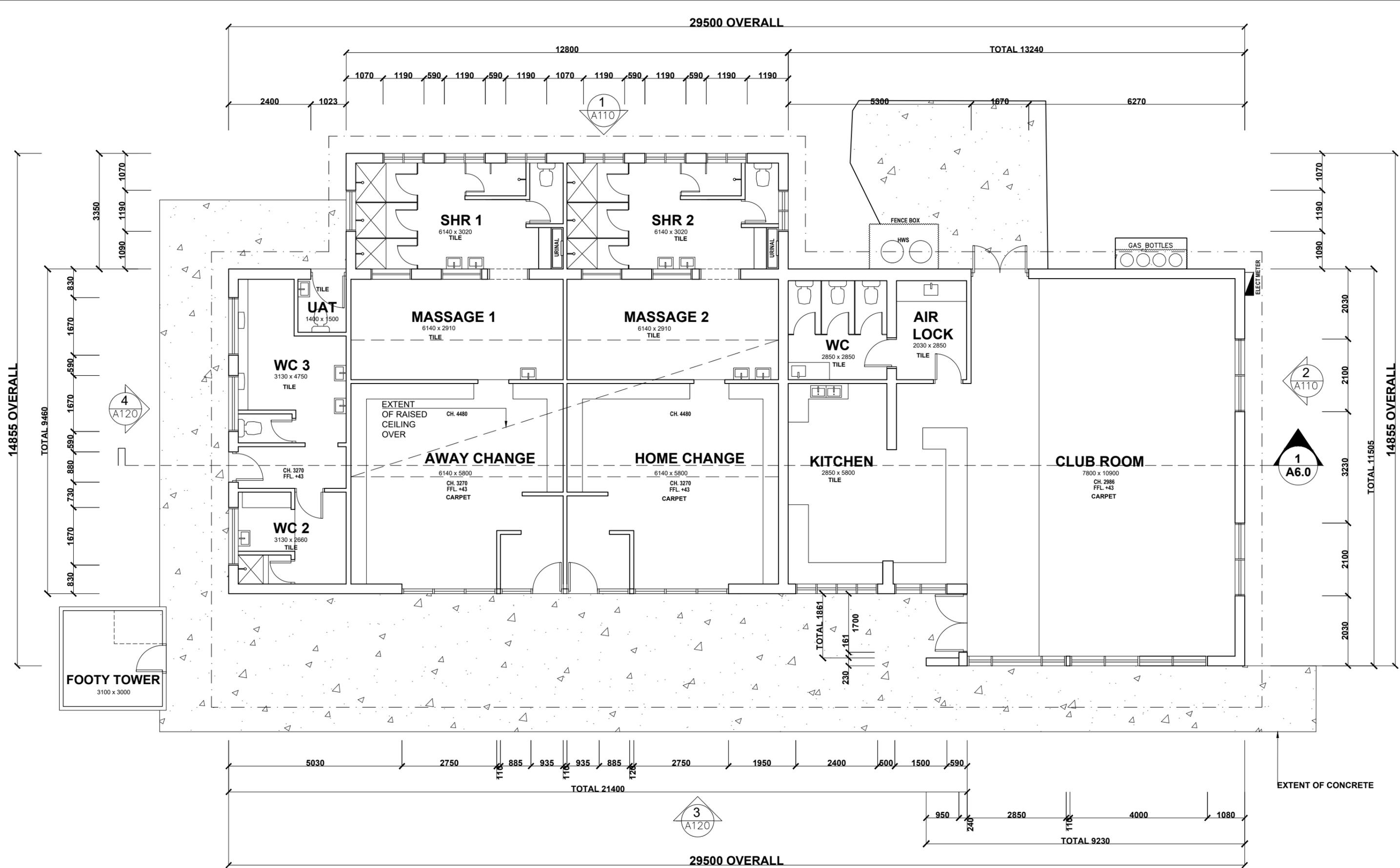
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A1.0	AS CONSTRUCTED PLANS, ELEVATIONS
A2.0	REMOVAL PLANS, ELEVATIONS
A3.0	PROPOSED PLANS
A4.0	ELEVATIONS
A5.0	SECTIONS

Notes	Project KONDININ PAVILION	Drawing COVER PAGE	Project Status: CONCEPT DESIGN	 <p>2 Lennard Street cnr Robinson Rd Brodinton WA 6306 PO Box 102 Brodinton WA 6306 T. 9609 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au RBA Reg 40232</p>
<p>TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>Client SHIRE OF KONDININ Address 44 GORDON ST, KONDININ, 6367 ORA Project No. 2022 - 0017</p>	<p>Scale N/A Drawing No. A000 Date 29/03/2023 Revision A</p>	  <p>Member Australian Institute of Architects</p>	



<p>Notes</p> <p>TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate</p> <p>FL - @ FFL HEIGHT LF - @ -40mm below FFL</p> <p>© OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>Project KONDININ PAVILION</p> <p>Client SHIRE OF KONDININ</p> <p>Address 44 GORDON ST, KONDININ, 6367</p> <p>ORA Project No. 2022 - 0017</p>	<p>Drawing EXISTING SITE PLAN</p> <p>Scale 1:200</p> <p>Date 29/03/2023</p> <p>Drawing No. A100</p> <p>Revision A</p>	<p>Project Status: CONCEPT DESIGN</p>   <p>Member Australian Institute of Architects</p>	 <p>Office of Regional Architecture</p> <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</p>
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<p>Notes</p> <p>TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate</p> <p>FL - @ FFL HEIGHT LF - @ -40mm below FFL</p> <p>© OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>Project KONDININ PAVILION</p> <p>Client SHIRE OF KONDININ</p> <p>Address 44 GORDON ST, KONDININ, 6367</p> <p>ORA Project No. 2022 - 0017</p>	<p>Drawing EXISTING PLAN</p> <p>Scale 1:100</p> <p>Date 29/03/2023</p> <p>Drawing No. A101</p> <p>Revision A</p>	<p>Project Status: CONCEPT DESIGN</p>  <p>Member Australian Institute of Architects</p>	<p>ORA Office of Regional Architecture</p> <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306</p> <p>T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au</p> <p>ABWA Reg #2150</p>
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ROOF PITCH 65°

TOR CHANGE + 4900

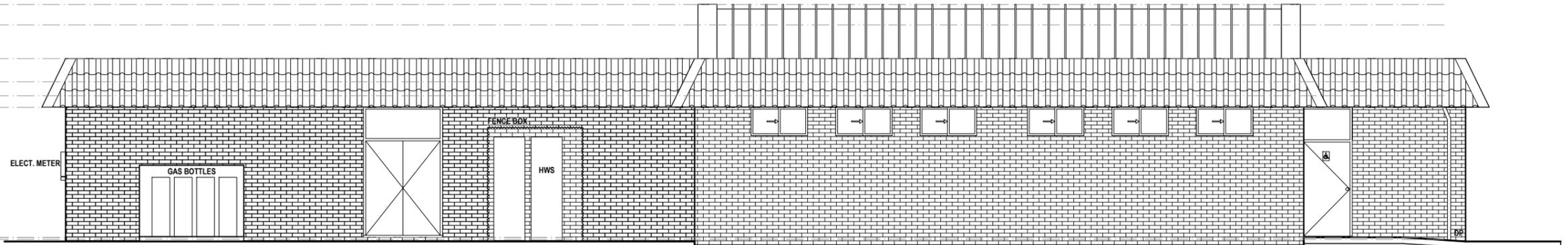
CEILING + 4480

TOR + 3770

CEILING + 3270

CEILING + 2986

TOW + 2743



1 EAST ELEVATION
1:100

ROOF PITCH 65°

TOR CHANGE + 4900

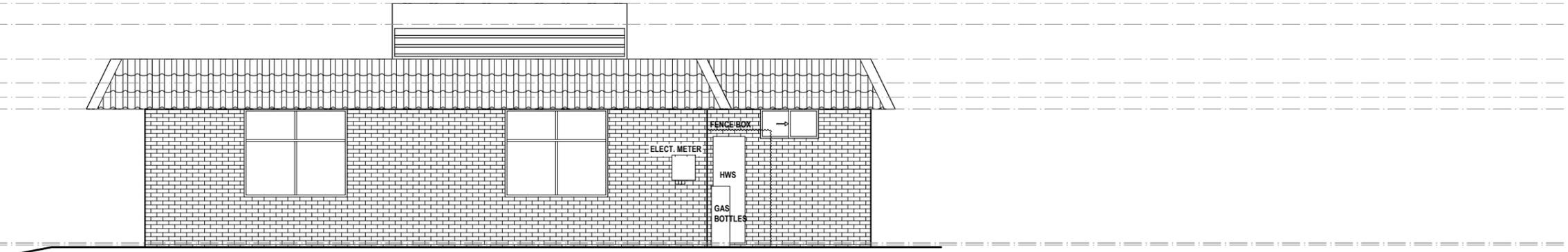
CEILING + 4480

TOR + 3770

CEILING + 3270

CEILING + 2986

TOW + 2743



2 NORTH ELEVATION
1:100

Notes	Project KONDININ PAVILION	Drawing EXISTING ELEVATIONS	Project Status: CONCEPT DESIGN
TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate	FL - @ FFL HEIGHT LF - @ -40mm below FFL Client SHIRE OF KONDININ Address 44 GORDON ST, KONDININ, 6367 ORA Project No. 2022 - 0017	Scale 1:100 Date 29/03/2023	Drawing No. A110 Revision A
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ROOF PITCH 65°

TOR CHANGE + 4900

CEILING + 4480

TOR + 3770

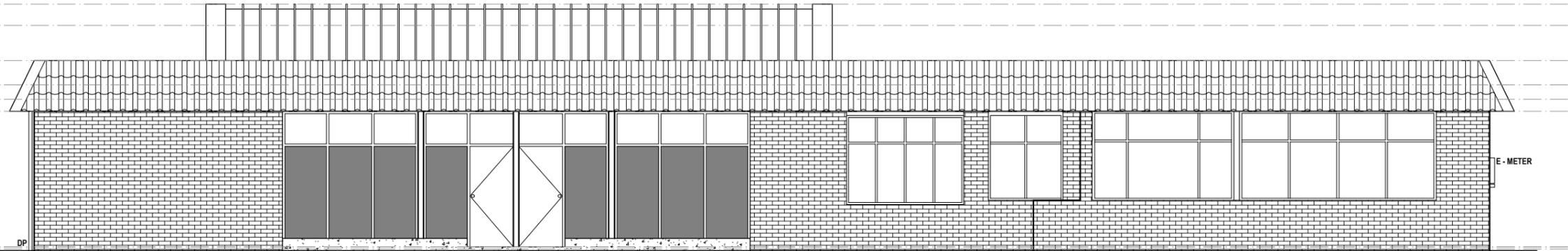
CEILING + 3270

CEILING + 2986

TOW + 2743

FFL 0.00

GROUND LINE (VARIES) - 43



3 WEST ELEVATION
1:100

ROOF PITCH 65°

TOR CHANGE + 4900

CEILING + 4480

TOR + 3770

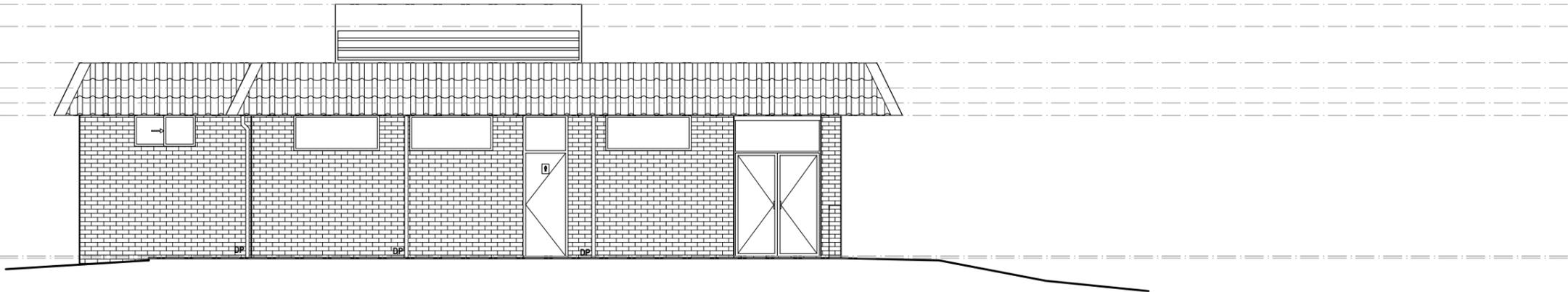
CEILING + 3270

CEILING + 2986

TOW + 2743

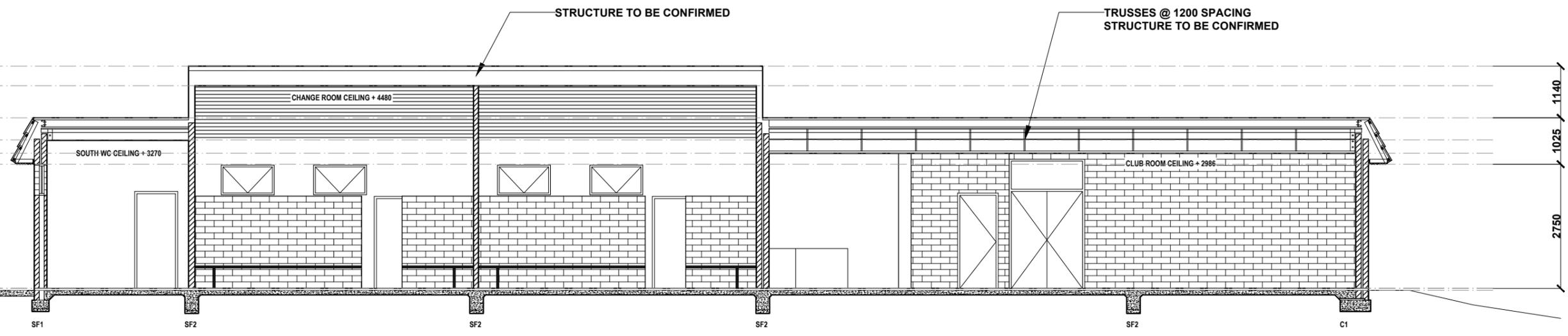
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GROUND LINE (VARIES) - 43



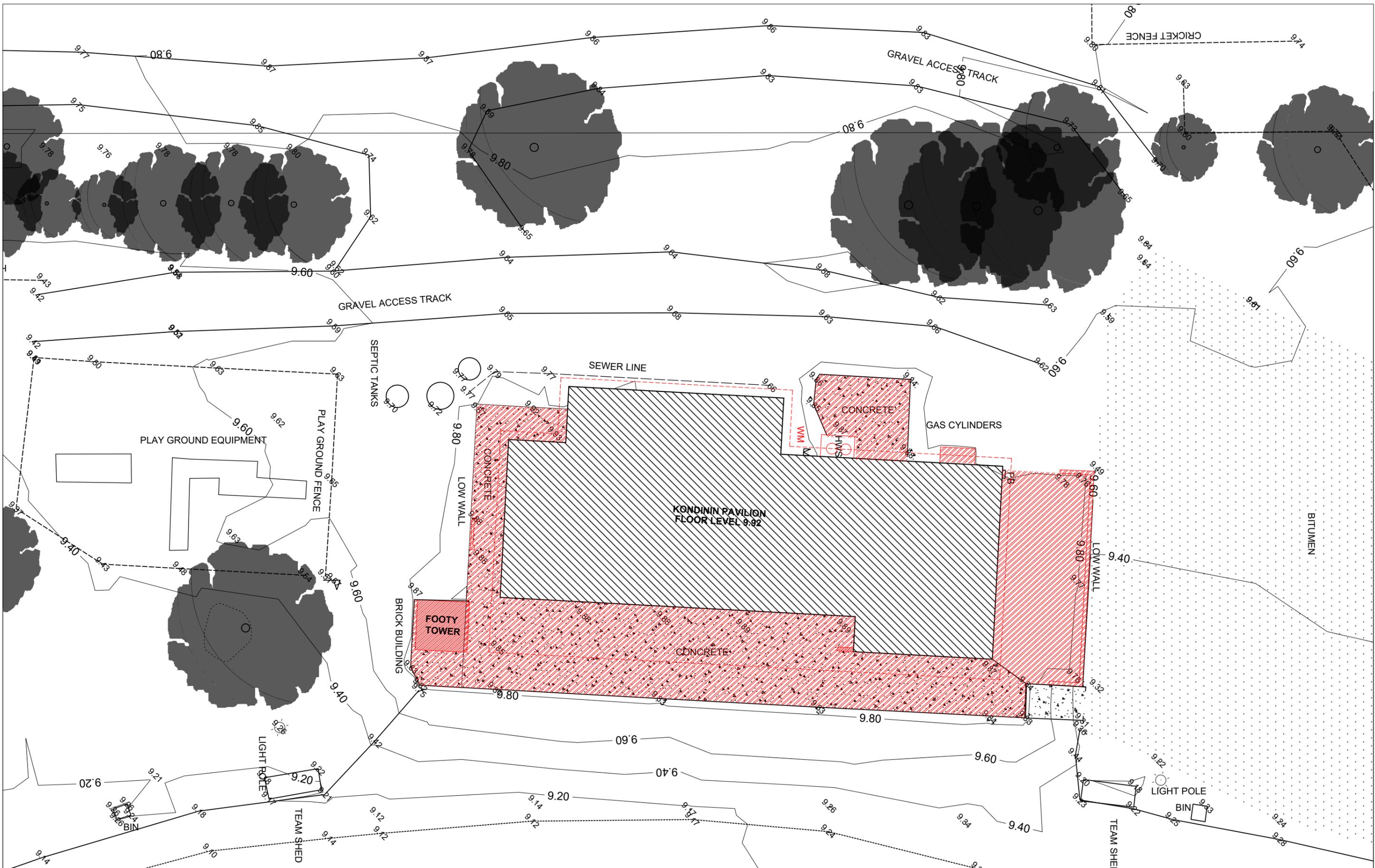
4 SOUTH ELEVATION
1:100

<p>Notes</p>	<p>Project KONDININ PAVILION</p>	<p>Drawing EXISTING ELEVATIONS</p>	<p>Project Status: CONCEPT DESIGN</p>	<p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</p>
<p>TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>FL - @ FFL HEIGHT LF - @ -40mm below FFL Client SHIRE OF KONDININ Address 44 GORDON ST, KONDININ, 6367 ORA Project No. 2022 - 0017</p>	<p>Scale 1:100 Date 29/03/2023 Drawing No. A120 Revision A</p>	<p>Member Australian Institute of Architects</p>	<p>ORA Office of Regional Architecture</p>



TOR CHANGE + 4900
 CEILING + 4480
 TOR + 3770
 CEILING + 3270
 CEILING + 2986
 TOW + 2743
 FFL 0.00
 GROUND LINE (VARIES) - 43

Notes	Project KONDININ PAVILION	Drawing EXISTING SECTION	Project Status: CONCEPT DESIGN	 <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</p>
<p>TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>FL - @ FFL HEIGHT LF - @ -40mm below FFL</p> <p>Client SHIRE OF KONDININ Address 44 GORDON ST, KONDININ, 6367 ORA Project No. 2022 - 0017</p>	<p>Scale 1:100 Date 29/03/2023</p> <p>Drawing No. A130 Revision A</p>	 	

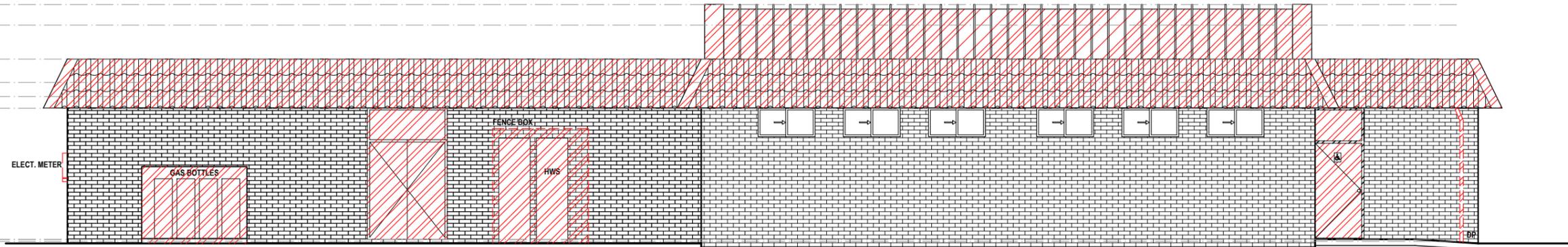


<p>Notes</p> <p>TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>Project KONDININ PAVILION</p> <p>Client SHIRE OF KONDININ</p> <p>Address 44 GORDON ST, KONDININ, 6367</p> <p>ORA Project No. 2022 - 0017</p>	<p>Drawing DEMOLITION SITE PLAN</p> <p>Scale 1:200</p> <p>Date 29/03/2023</p> <p>Drawing No. A200</p> <p>Revision A</p>	<p>Project Status: CONCEPT DESIGN</p>   <p>Member Australian Institute of Architects</p>	 <p>Office of Regional Architecture</p> <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</p>
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ROOF PITCH 65°

TOR CHANGE + 4900
 CEILING + 4480
 TOR + 3770
 CEILING + 3270
 CEILING + 2986
 TOW + 2743

FFL 0.00
 GROUND LINE (VARIES) - 43

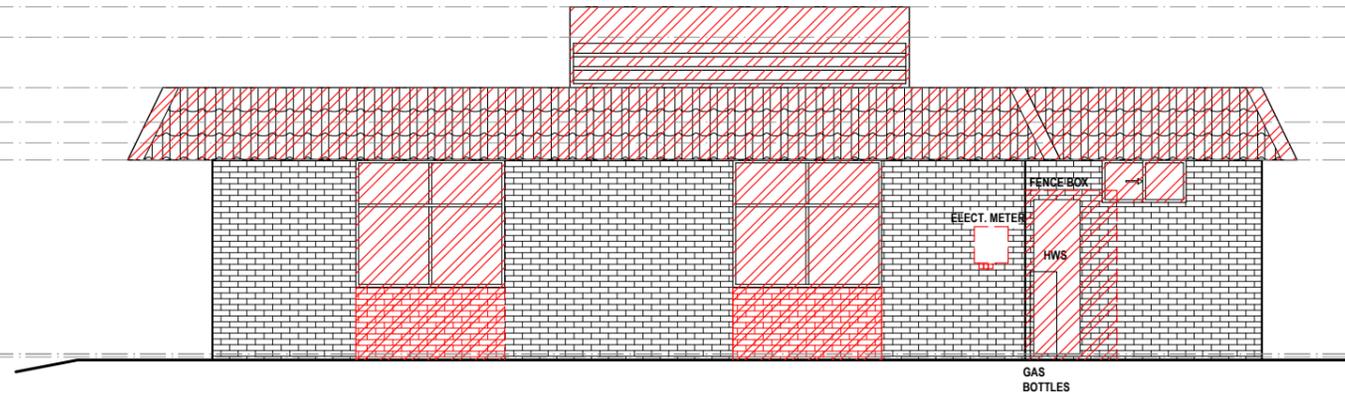


1 EAST ELEVATION
 1:100

ROOF PITCH 65°

TOR CHANGE + 4900
 CEILING + 4480
 TOR + 3770
 CEILING + 3270
 CEILING + 2986
 TOW + 2743

FFL 0.00
 GROUND LINE (VARIES) - 43



2 NORTH ELEVATION
 1:100

Notes	Project KONDININ PAVILION	Drawing DEMOLITION ELEVATIONS	Project Status: CONCEPT DESIGN
TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate	Client SHIRE OF KONDININ Address 44 GORDON ST, KONDININ, 6367 ORA Project No. 2022 - 0017	Scale 1:100 Date 29/03/2023	Drawing No. A210 Revision A
FL - @ FFL HEIGHT LF - @ -40mm below FFL			 
© OFFICE OF REGIONAL ARCHITECTURE 2023			2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150

ROOF PITCH 65°

TOR CHANGE + 4900

CEILING + 4480

TOR + 3770

CEILING + 3270

CEILING + 2986

TOW + 2743

FFL 0.00

GROUND LINE (VARIES) - 43



3

WEST ELEVATION

1:100

ROOF PITCH 65°

TOR CHANGE + 4900

CEILING + 4480

TOR + 3770

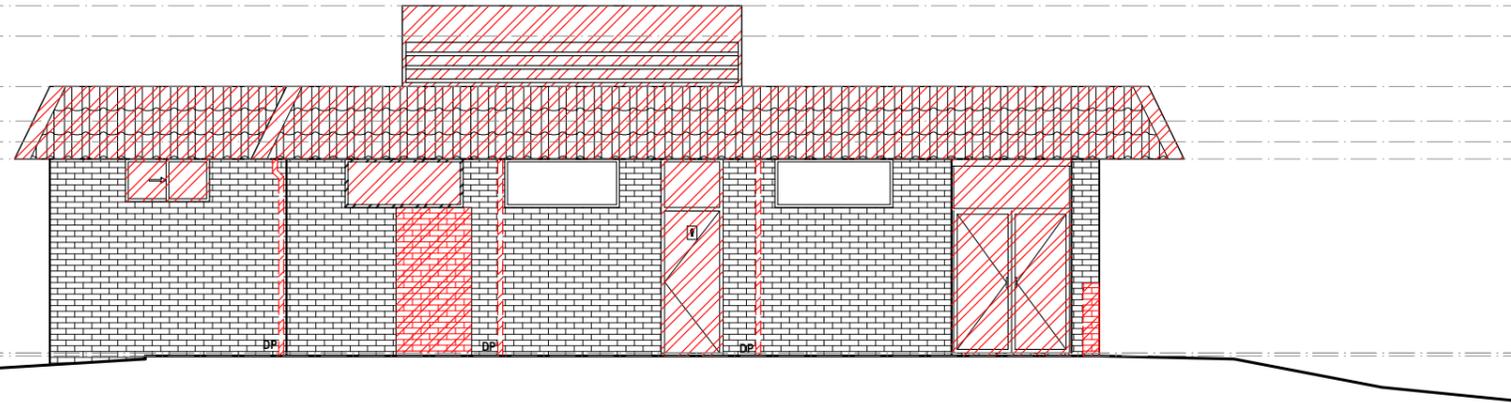
CEILING + 3270

CEILING + 2986

TOW + 2743

FFL 0.00

GROUND LINE (VARIES) - 43



4

SOUTH ELEVATION

1:100

Notes

TOR - Top of Roof
 TOW - Top of Wall
 FFL - Finished Floor Level
 EB - Electrical Box
 All roof angles approximate

FL - @ FFL HEIGHT
 LF - @ -40mm below FFL

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Project KONDININ PAVILION

Client SHIRE OF KONDININ

Address 44 GORDON ST, KONDININ, 6367

ORA Project No. 2022 - 0017

Drawing DEMOLITION ELEVATIONS

Scale 1:100

Date 29/03/2023

Drawing No.

A220

Revision

A

Project Status: **CONCEPT DESIGN**



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ABWA Reg #2150



NOTE.
TURNING PATH TO RELOCATED AUGER PIT
SUITED FOR RAV 4 TRAFFIC.

KONDININ AIRPORT

ADDITIONAL STACKING LANE.

EXISTING OPEN BULKHEAD - OBH 01

EXISTING OPEN BULKHEAD - OBH 02

EXISTING OPEN BULKHEAD - OBH 03

EXISTING OPEN BULKHEAD - OBH 04

EXISTING TOILET BLOCK

NEW 500tph AUGER PIT (TYP.)

STACKING LANE FOR NEW AUGER
PIT. LANE MARKING MAY BE
REQUIRED TO ASSIST TRUCK PATH.
LANE AND TURNING PATH SUITED
TO RAV 4 TRAFFIC (26m TRUCKS)

NEW 500tph CLS.

EXISTING TYPE 9 SAMPLE HUT

EXISTING 36m WEIGHBRIDGE

CORRIGIN - KONDININ ROAD

SITE ENTRY
AND EXIT

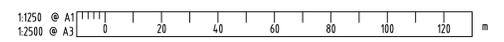
DRAWING LEGEND

-  TRAFFIC MOVEMENTS - TRUCKS FULL
-  TRAFFIC MOVEMENTS - TRUCKS EMPTY
-  CADASTRAL BOUNDARY
-  EPA INDUSTRIAL/SENSITIVE LAND USE SEPARATION DISTANCE - 500m RADIUS
-  CBH SITE BOUNDARY
-  CBH RAIL LEASE BOUNDARY
-  OHP OVERHEAD POWER LINES
-  UGP UNDERGROUND POWER CABLES
-  C UNDERGROUND COMMS CABLES
-  UGW UNDERGROUND WATER PIPES
-  RAIL LINE
-  PROPOSED OPEN DRAINS

HATCHING LEGEND

 AREA OF NEW WORKS 650m²

PRELIMINARY ISSUE
DO NOT USE FOR CONSTRUCTION
DATE 17.04.23



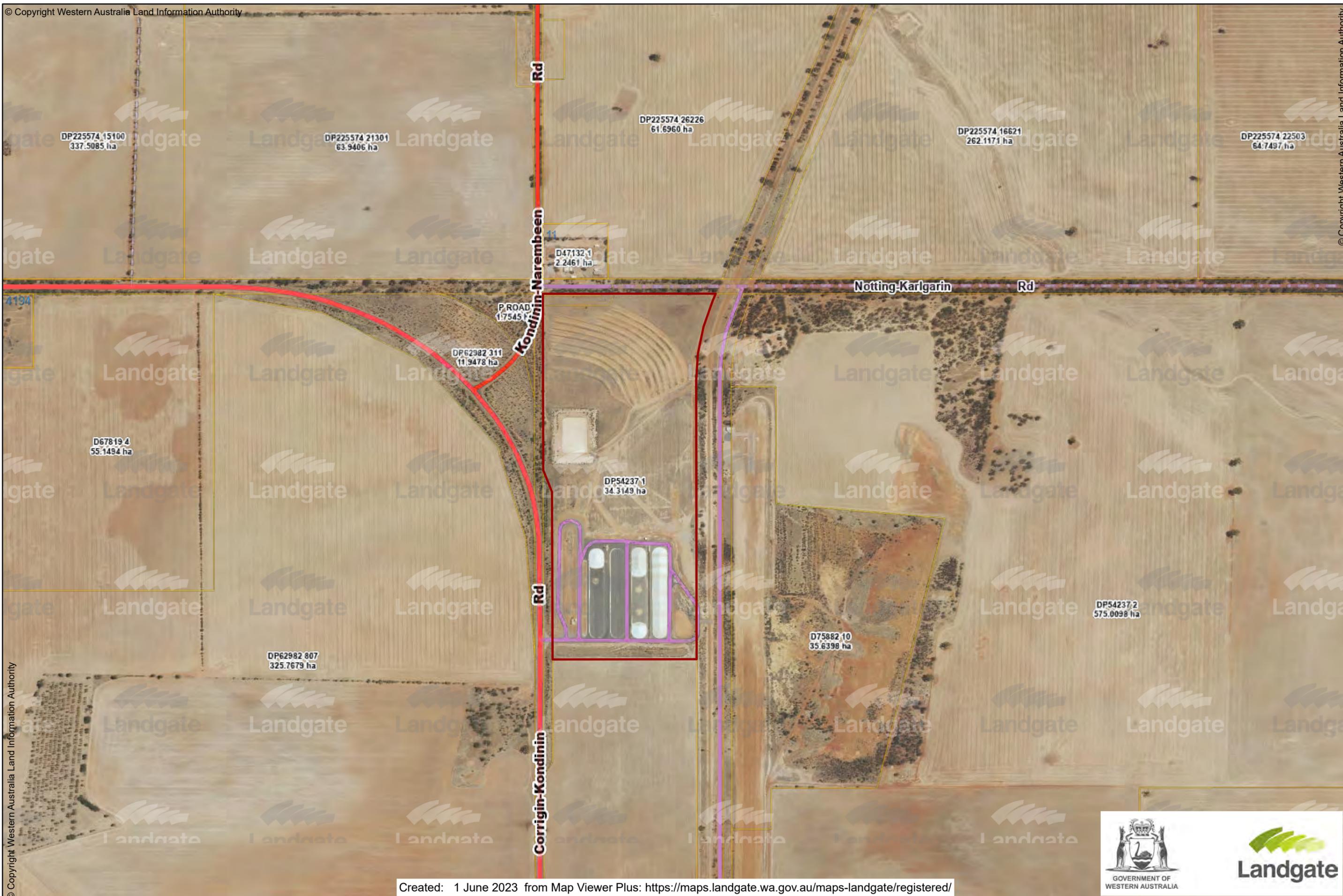
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DO NOT SCALE FROM THIS DRAWING

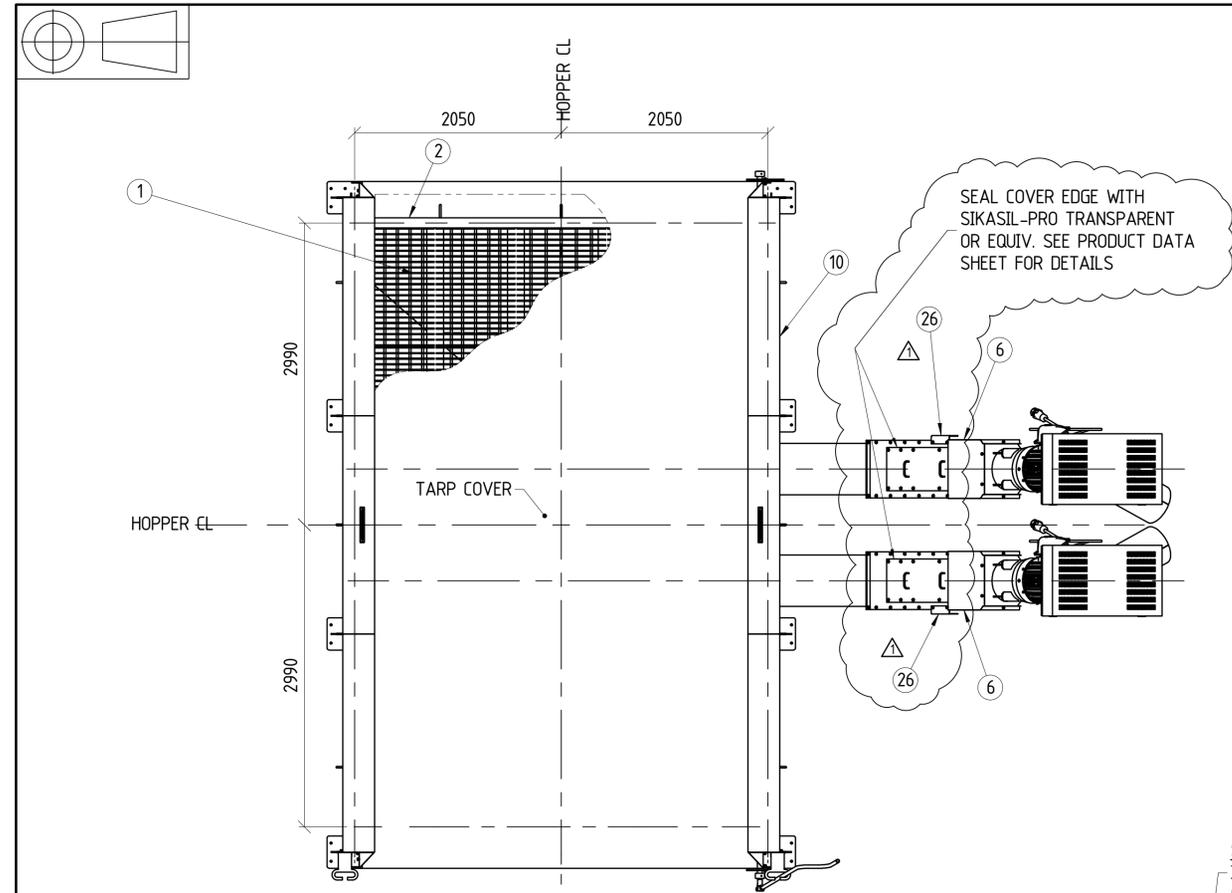


CBH GROUP
LEVEL 6
240 ST GEORGE'S TERRACE
PERTH W.A. 6000
PH (08) 9237 9600
FAX (08) 9322 3942

REV	DATE	REVISION DESCRIPTION	BY	CHK'D	APP'D
B	17.04.23	REVISED & RE-ISSUED FOR REVIEW	JB		
A	03.02.23	ISSUED AS CHECK PRINT AND FOR REVIEW	JB		

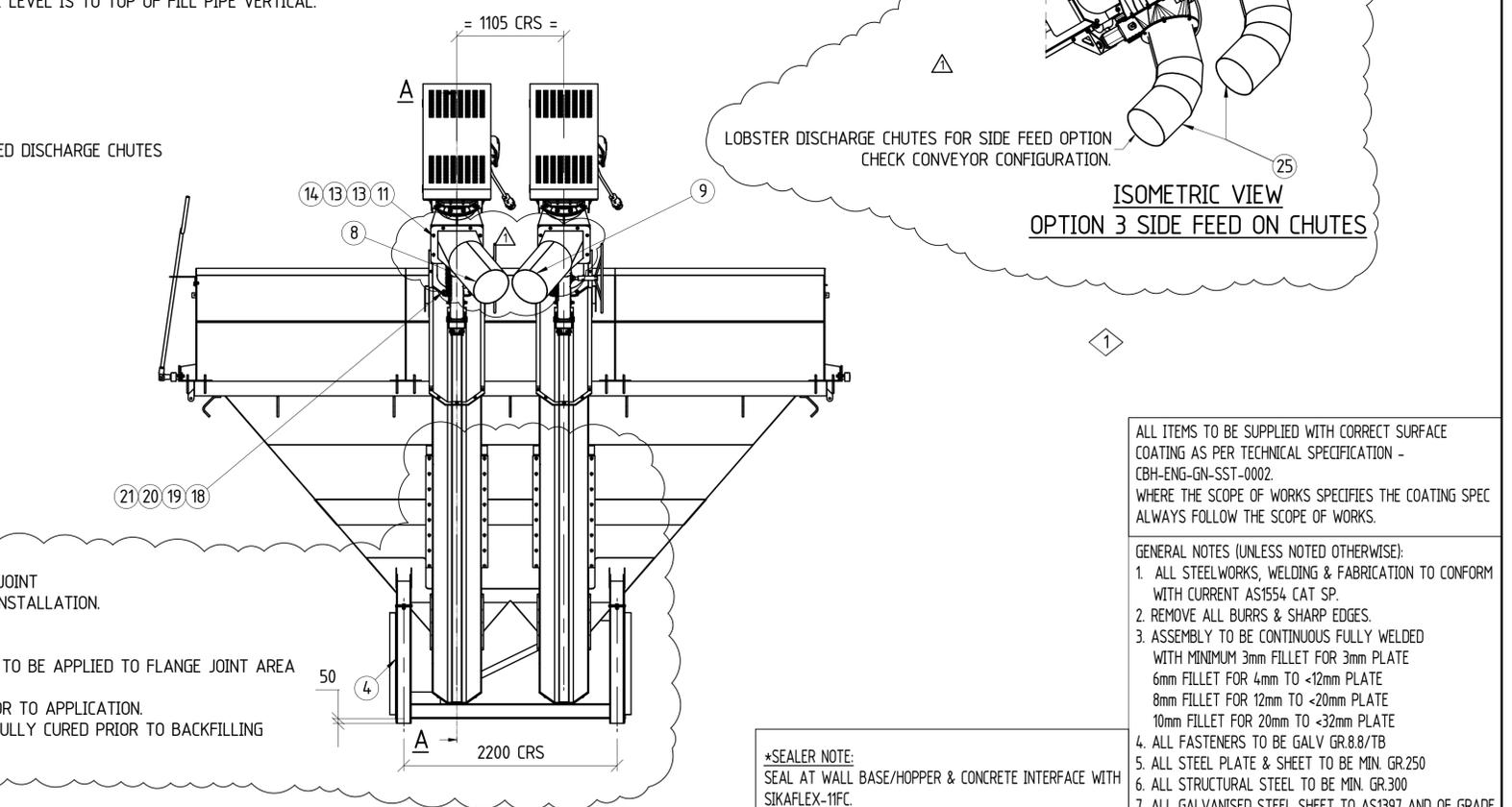
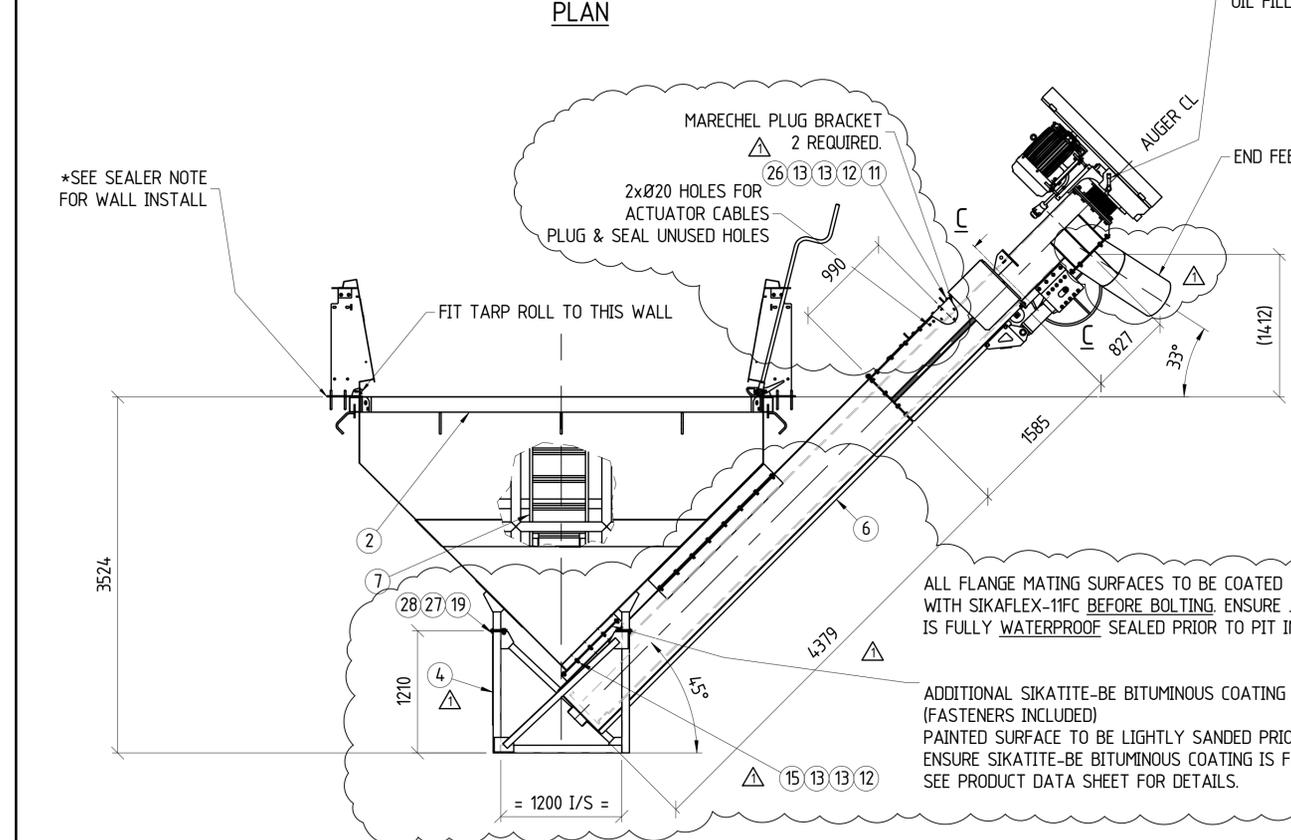
SCALE	1:1250	DRAWN	J. Butlingham	03.02.23	TITLE	KONDININ NORTH THROUGHPUT UPGRADES
SHEET	A1	CHECKED				2023 THROUGHPUT - NEW AUGER PIT & CLS
PROJECT		DESIGNED				CONCEPTUAL LAYOUT No. 1
CONTRACT No.		DESIGN APPR				525-ENG-CI-DCO-0008
		PROJECT APPR				1 OF 1
						REV. B





ITEM No	DESCRIPTION	QTY	CBH OR SUPPLIER PART No	PROCESS	SAP Code	MASS Kg	TO DETAIL	SURFACE TREATMENT	C/SPEC.
1	DECK GRATING LAYOUT	1	S093-ENG-ME-ASY-0052	FITTING	N/A	2603.57	Yes	N/A	N/A
2	RECEIVAL HOPPER WELDMENT	1	S093-ENG-ME-ASY-0055	FITTING	N/A	3640.3	Yes	BLACK (EXTERNAL ONLY)	PC4
4	SUPPORT FRAME	1	S093-ENG-ME-ASY-0061	FITTING	N/A	237.67	Yes	N61 - BLACK	PC3
6	AUGER & DUCT ASSEMBLY	2	S093-ENG-ME-ASY-0220	FITTING	N/A	5218.3	Yes	N/A	N/A
7	REMOVABLE LADDER	1	S093-ENG-ME-ASY-0522	FITTING	N/A	9.37	Yes	N/A	N/A
8	R/H DISCHARGE CHUTE ASSY	1	S093-ENG-ME-ASY-0451	FITTING	N/A	31.74	Yes	GALVANIZE	N/A
9	L/H DISCHARGE CHUTE ASSY	1	S093-ENG-ME-ASY-0452	FITTING	N/A	31.74	Yes	GALVANIZE	N/A
10	WALLS AND COVER	1	S093-ENG-ME-ASY-0080	FITTING	N/A	847.08	Yes	N/A	N/A
11	M12 x 40 GALV BOLT GR8.8	20		FITTING	DREQ	1.03	No	N/A	N/A
12	M12 GALV. NUT GR8.8	80		FITTING	DREQ	1.34	No	N/A	N/A
13	M12 GALV FW	160		FITTING	110165	1.63	No	N/A	N/A
14	M12 GALV SW	16		FITTING	DREQ	0.08	No	N/A	N/A
15	M12 x 35 BOLT GR8.8	28		FITTING	121026	1.32	No	N/A	N/A
16	M12 x 45 GALV BOLT GR8.8	32		FITTING	DREQ	1.8	No	N/A	N/A
18	M16 GALV FW	8		FITTING	110168	0.13	No	N/A	N/A
19	M16 GALV. NUT	12		*Varies*	DREQ	0.48	No	N/A	N/A
20	M16 x 50 GALV BOLT GR8.8	4		FITTING	DREQ	0.47	No	N/A	N/A
21	M16 GALV SW	4		FITTING	128136	0.04	No	N/A	N/A
22	M10 NYLOC NUT	6		FIELD KIT	128161	0.06	No	N/A	N/A
23	M10 x 40 GALV BOLT GR8.8	6		FIELD KIT	DREQ	0.21	No	N/A	N/A
24	SPEED REDUCER OIL 15 LITRES	1	EP 220 TYPE (MANUFACTURERS RECOMMENDED)	FITTING	TBA	0	No	N/A	N/A
25	SUITS OPTION 3, SLOPING TAIL MODULE	2	S093-ENG-ME-ASY-0559	FITTING	N/A	118.11	Yes	N/A	N/A
26	6PL BRACKET	2	S093-ENG-EL-PRT-0001	FAB PROFILE	107902	5.35	Yes	G21 - JADE	PC6
27	M16 x 45 GALV BOLT GR8.8	8		FIELD KIT	DREQ	0.88	No	N/A	N/A
28	M16 GALV FW	8		FIELD KIT	110168	0.13	No	N/A	N/A

NOTE:
 - SEE LOCATING DUCT ARRANGMENT. S093-ENG-ME-ASY-0070. FOR VALVE ACTUATORS (LINAK).
 - ADJUST TARP LATCHES TO SUIT TARP & TIGHTEN BOLT.
 - TENSION ENDS OF TARP TO BE TIGHT WITH TARP CLOSED.
 - GRID HATCHES TO BE SECURED. USE M10x40 C/W NYLOC. REPLACE DURING MAINTENANCE.
 - SEE S093-ENG-ME-ASY-0052 FOR DECK GRATING TO HOPPER WELD DETAILS.



S093-ENG-ME-DGA-0001
 ELEVATION OVERALL STRUCTURE
 1: 35

ALL FLANGE MATING SURFACES TO BE COATED WITH SIKAFLEX-11FC BEFORE BOLTING. ENSURE JOINT IS FULLY WATERPROOF SEALED PRIOR TO PIT INSTALLATION.

ADDITIONAL SIKATITE-BE BITUMINOUS COATING TO BE APPLIED TO FLANGE JOINT AREA (FASTENERS INCLUDED) PAINTED SURFACE TO BE LIGHTLY SANDED PRIOR TO APPLICATION. ENSURE SIKATITE-BE BITUMINOUS COATING IS FULLY CURED PRIOR TO BACKFILLING. SEE PRODUCT DATA SHEET FOR DETAILS.

*SEALER NOTE:
 SEAL AT WALL BASE/HOPPER & CONCRETE INTERFACE WITH SIKAFLEX-11FC.
 PAINTED STEEL(NON POROUS) SURFACE TO BE LIGHTLY ABRADED FOLLOWED BY SIKA ACTIVATOR 205.
 CONCRETE (POROUS) SURFACE TO BE PRIMED WITH SIKA PRIMER-3 N.
 SEE MANUFACTURERS PRODUCT DATA SHEETS FOR DETAILS.

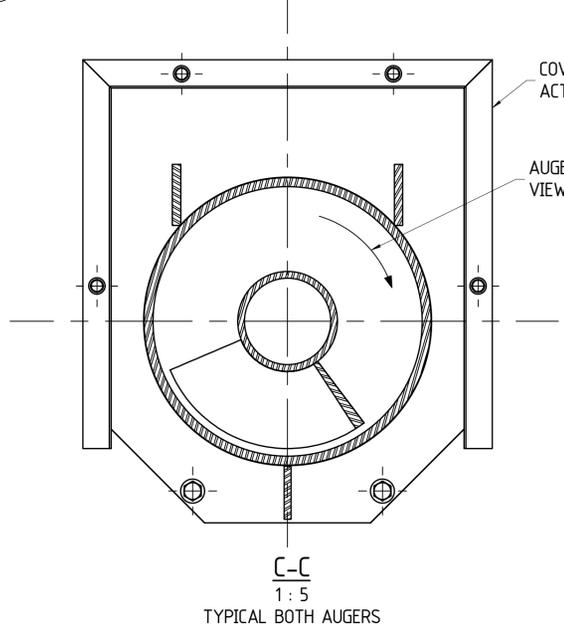
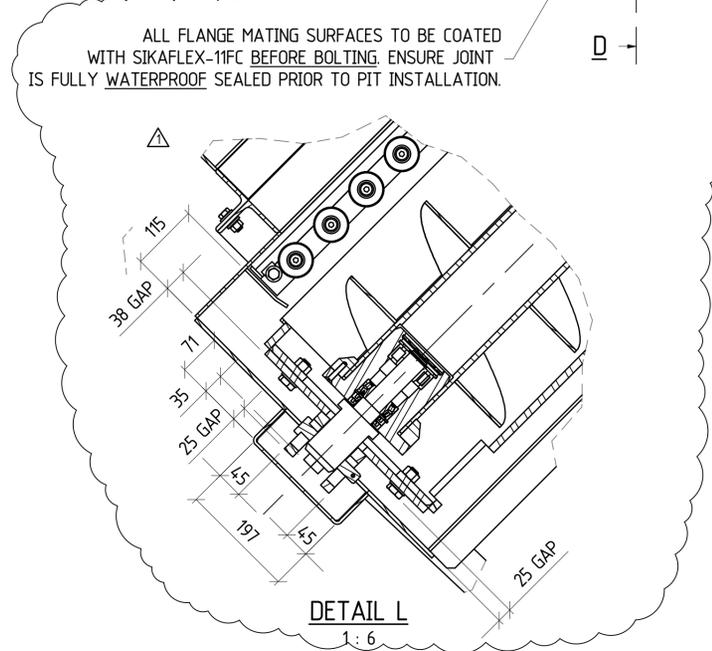
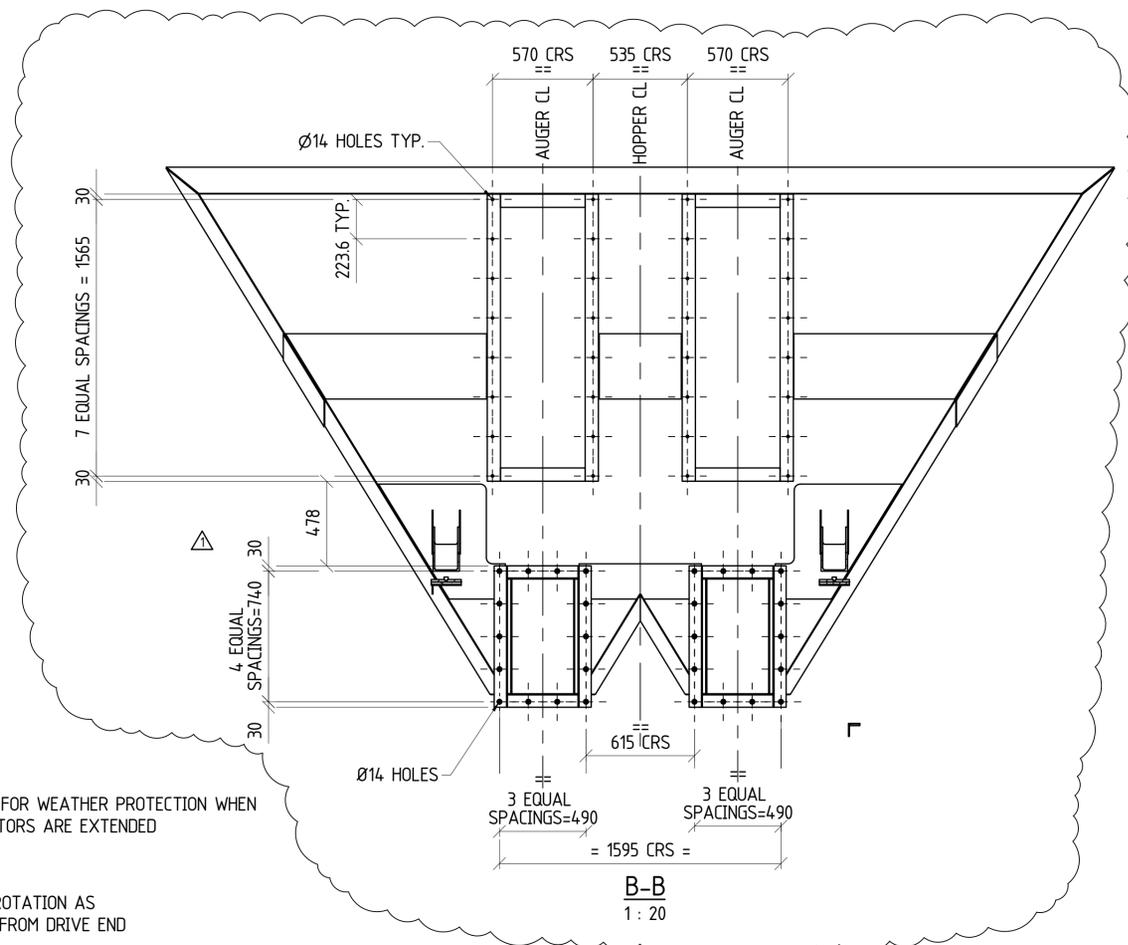
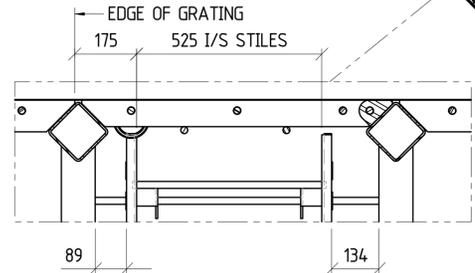
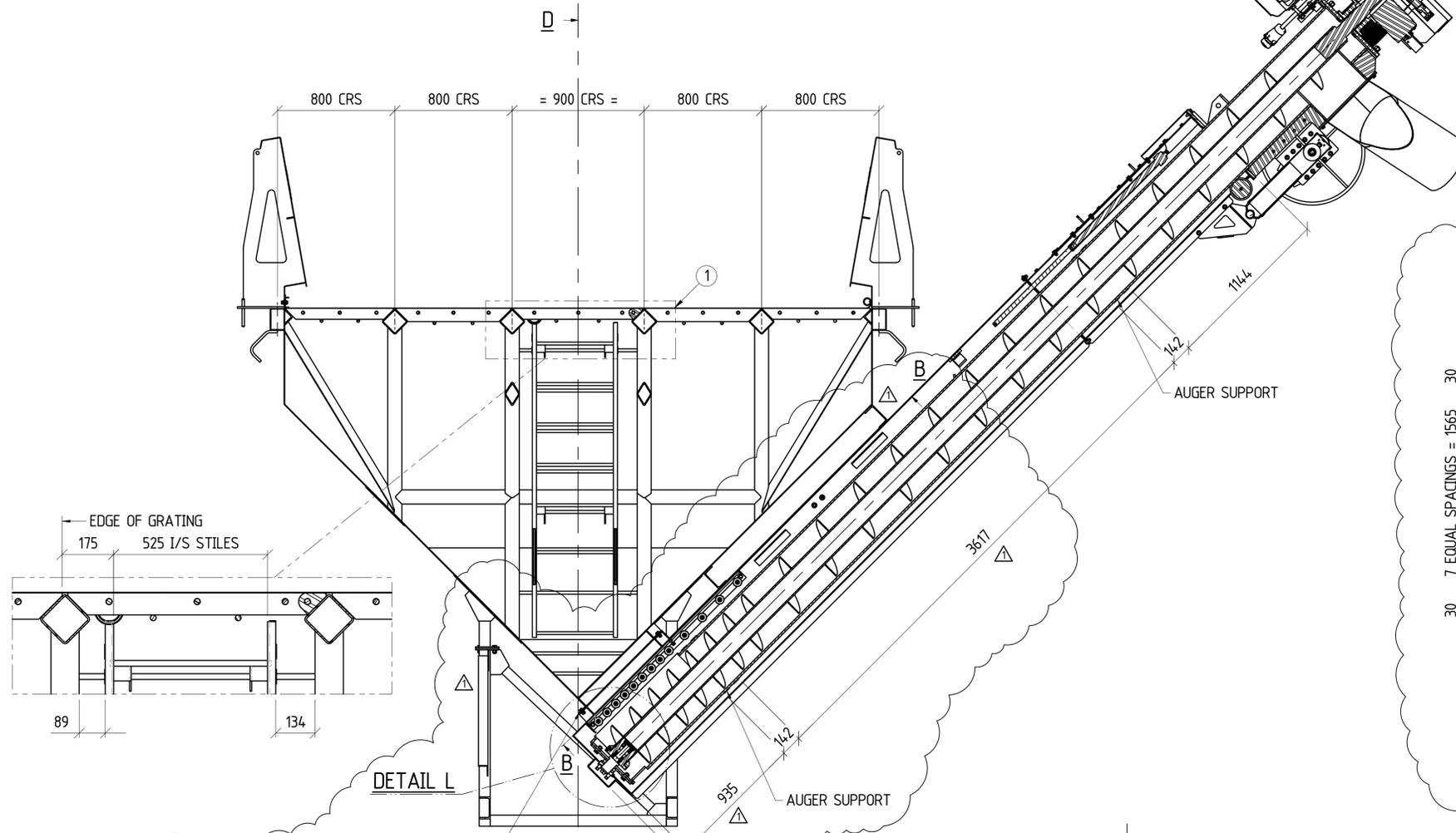
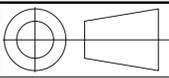
ALL ITEMS TO BE SUPPLIED WITH CORRECT SURFACE COATING AS PER TECHNICAL SPECIFICATION - CBH-ENG-GN-SST-0002. WHERE THE SCOPE OF WORKS SPECIFIES THE COATING SPEC ALWAYS FOLLOW THE SCOPE OF WORKS.

GENERAL NOTES (UNLESS NOTED OTHERWISE):

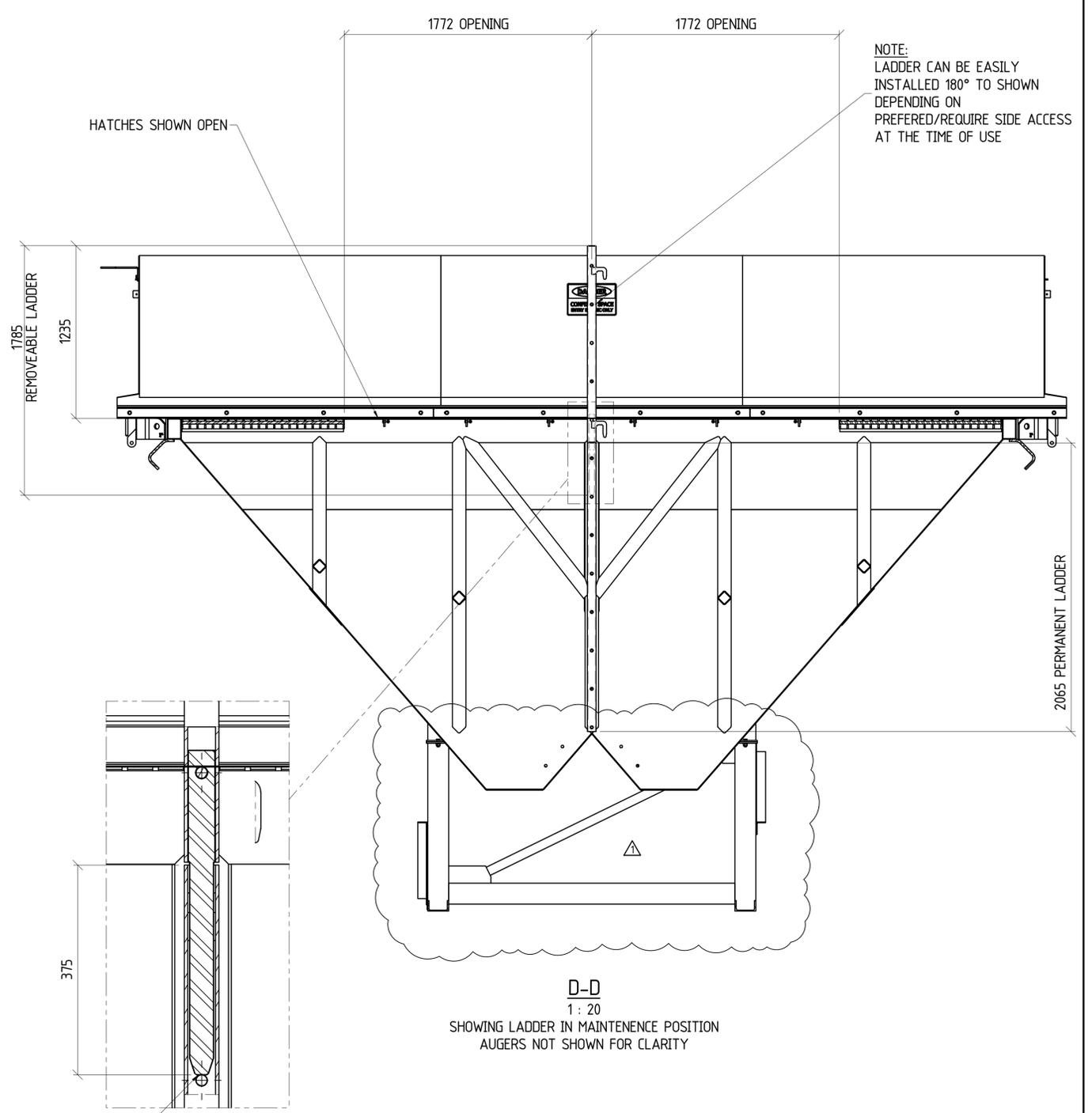
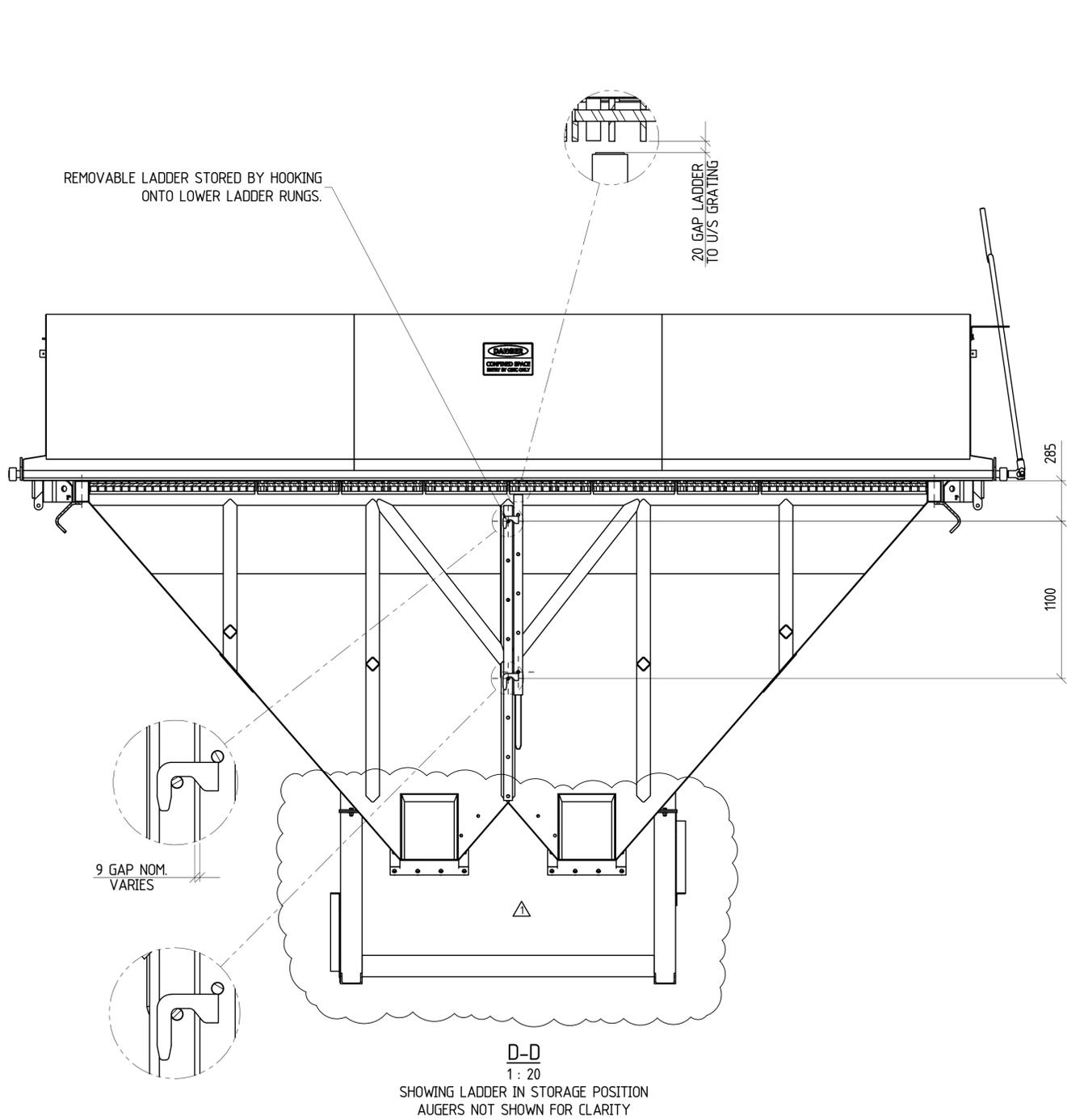
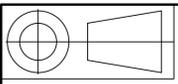
- ALL STEELWORKS, WELDING & FABRICATION TO CONFORM WITH CURRENT AS1554 CAT SP.
- REMOVE ALL BURRS & SHARP EDGES.
- ASSEMBLY TO BE CONTINUOUS FULLY WELDED WITH MINIMUM 3mm FILLET FOR 3mm PLATE
6mm FILLET FOR 4mm TO <12mm PLATE
8mm FILLET FOR 12mm TO <20mm PLATE
10mm FILLET FOR 20mm TO <32mm PLATE
- ALL FASTENERS TO BE GALV GR8.8/TB
- ALL STEEL PLATE & SHEET TO BE MIN. GR250
- ALL STRUCTURAL STEEL TO BE MIN. GR300
- ALL GALVANISED STEEL SHEET TO AS1397 AND OF GRADE G22275 OR EQUIV. ALL H.D GALVANISED FERROUS ARTICLES TO AS/NZS4680

SURFACE COATING:	N/A
COATING SPEC:	N/A
TOTAL MASS:	12752.8 kg

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		1 9/11/2019 CHUTES,BRKT,HOLD,NOTES ADDED. SUPPORT MODS 0 1/08/2018 COPIED FROM S-093. ISSUED FOR CONSTRUCTION.	AME SCR PJC AME PJC NH	APPROVED NH 11/02/2019	DRAWING TITLE AUGER PIT C/W TWIN Ø400 AUGERS OVERALL STRUCTURE GENERAL ARRANGEMENT PLAN & ELEVATIONS	SITE VARIOUS PROJECT STANDARD DRAWING No S093-ENG-ME-DGA-0001	SHEET 1 OF 3	REV. 1			



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		DO NOT SCALE FROM THIS DRAWING		REF DRG No.	REFERENCE DRAWING TITLE	REV	DATE	REVISIONS	BY	CHK	APP	REV	DATE	REVISIONS	BY	CHK	APP	APPROVED	



NOTE:
LADDER CAN BE EASILY
INSTALLED 180° TO SHOWN
DEPENDING ON
PREFERED/REQUIRE SIDE ACCESS
AT THE TIME OF USE

"SPIKE" ON REMOVEABLE LADDER SLIDES INTO LOWER SECTION AND RESTS ON RUNG

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CBH GROUP HEAD OFFICE
LEVEL 6, 240 ST GEORGES TERRACE,
PERTH W.A 6000
PH (08) 9237 9600 FAX (08) 9322 3942

REF	DRG No.	REFERENCE DRAWING TITLE	REV	DATE	REVISIONS	BY	CHK	APP	REV	DATE	REVISIONS	BY	CHK	APP	APPROVED
1				9/11/2019	CHUTES,BRKT,HOLD,NOTES ADDED. SUPPORT MODS.	AME	SCR	PJC							
0				1/08/2018	COPIED FROM S-093. ISSUED FOR CONSTRUCTION.	AME	PJC	NH							

DRAWN	AME 1/08/2018
CHECKED	PJC 11/02/2019
ENGINEER	PJC 11/02/2019
APPROVED	NH 11/02/2019

DRAWING TITLE
AUGER PIT C/W TWIN Ø400 AUGERS
OVERALL STRUCTURE
GENERAL ARRANGEMENT
SECTIONS & DETAIL

SITE	VARIOUS	SIZE	A1
PROJECT	STANDARD		
DRAWING No	S093-ENG-ME-DGA-0001	SHEET	3 OF 3
REV.			1

NOTES

GENERAL NOTES

- ALL STANDARD DRAWINGS FOR AUGER PITS SHALL BE READ IN CONJUNCTION WITH THE RELEVANT CBH SPECIFICATION(S), CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS TO TIE-IN VARIOUS DISCIPLINES AND SERVICES REQUIREMENTS.
- ANY DISCREPANCIES SHALL BE REFERRED TO THE PRINCIPAL REPRESENTATIVE FOR A DECISION BEFORE PROCEEDING WITH THE WORKS.
- CONTRACTOR TO CHECK AND VERIFY ALL SETTING OUT, LEVELS AND POSITIONS PRIOR TO CONSTRUCTION.
- EXCAVATION FOR THE PIT SHALL BE ASSESSED AND VERIFIED BY A COMPETENT GEOTECHNICAL ENGINEER BASED ON THE PROJECT SITE SOIL INVESTIGATION REPORT.
- METHOD STATEMENT FOR THE CONSTRUCTION AND INSTALLATION OF THE PIT MUST BE SUBMITTED TO THE PRINCIPAL REPRESENTATIVE FOR APPROVAL, TWO (2) WEEKS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EXCAVATION WORKS AND STRUCTURE(S) TO ENSURE THAT THEY ARE IN A SAFE AND STABLE CONDITION.
- DEWATERING (IF REQUIRED) SHALL BE CARRIED OUT BY QUALIFIED ENGINEER BASED ON SITE SOIL INVESTIGATION REPORT.
- NO PART OF THE PIT STEEL STRUCTURE(S) SHALL BE OVER STRESSED DURING LIFTING, HANDLING, LOWERING OPERATIONS AND TIGHTENING OF TIE DOWN CHAINS.
- TIE DOWN CHAINS TO BE TIGHTENED AND STRAIGHTENED TO PREVENT UPLIFTING OF THE PIT STEEL STRUCTURE DURING BACKFILLING.
- NO HEAVY AND VIBRATORY EARTHWORKS ACTIVITIES SHALL BE CARRIED OUT WITHIN 30m MEASURED FROM THE TOP OF SLOPE OF THE EXCAVATED PIT.

FOUNDATION PREPARATION

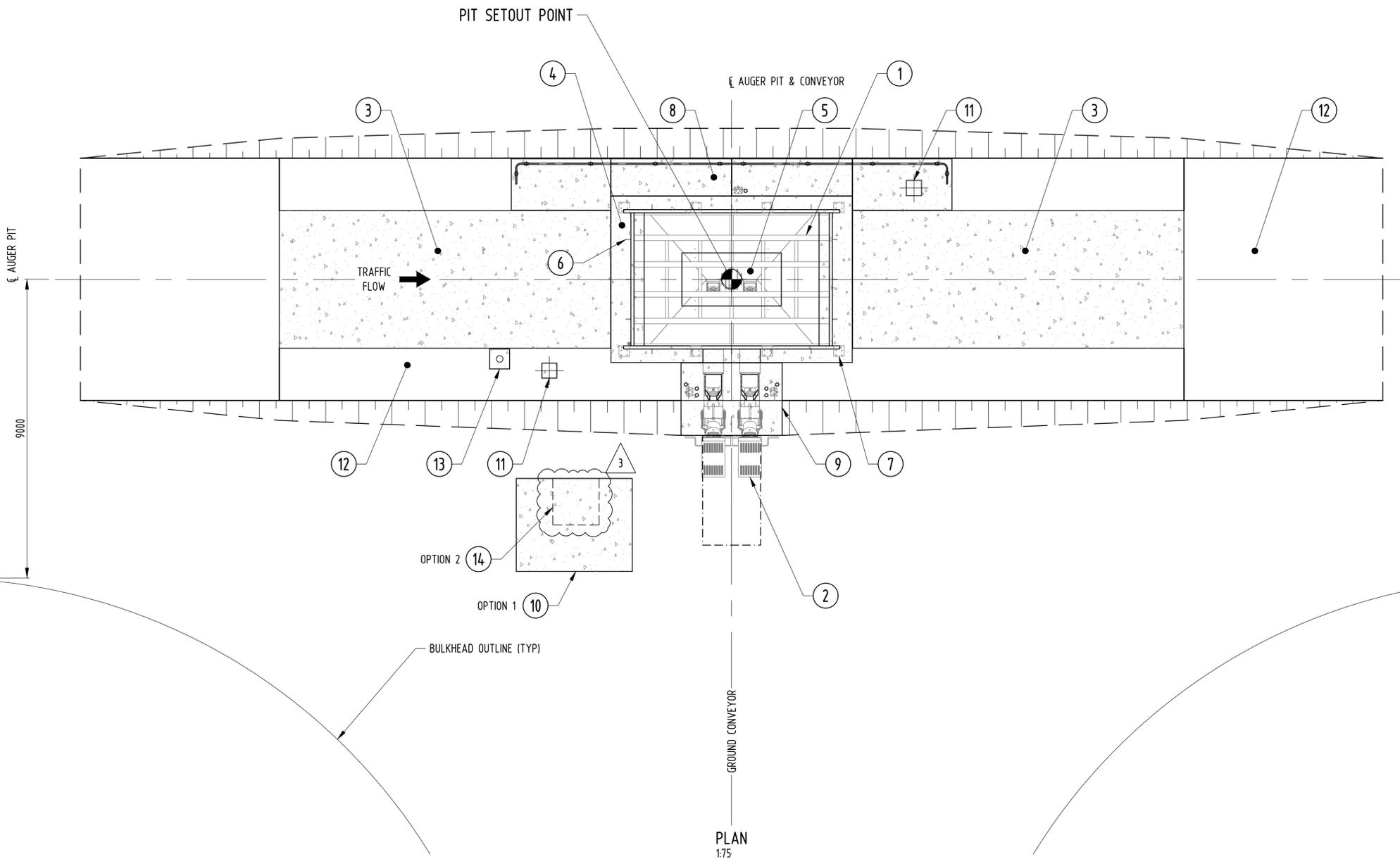
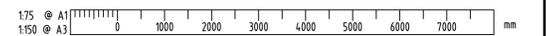
- SUBGRADE SUPPORTING CONCRETE STRUCTURES SHALL BE COMPACTED TO 95% MAXIMUM MODIFIED DRY DENSITY.
- A 50mm THICK CONCRETE BLINDING LAYER SHALL BE PLACED UNDER ALL CONCRETE STRUCTURE ON GROUND.

CONCRETE AND REINFORCEMENT

- ALL STRUCTURAL CONCRETE TO BE MINIMUM GRADE 32MPa.
- COVER TO REINFORCEMENT SHALL BE:
45mm - TOP & SIDES
65mm - BOTTOM
- REINFORCEMENT SHALL CONFORM TO AS 4671 AS FOLLOW:
N DENOTES GRADE D500N DEFORMED BARS
R DENOTES GRADE R250N PLAIN BARS
SL DENOTES WELDED WIRE REINFORCED MESH
- SPLICING OF REINFORCEMENT SHALL BE AS SHOWN IN THE DRAWINGS. MINIMUM LAP LENGTHS SHALL BE AT LOCATION AS SHOWN IN THE DRAWINGS. ANY LAP LENGTH OR COG NOT SHOWN SHALL BE AS FOLLOWS:

BAR SIZE	LAP - HORZ BARS (mm)	LAP - VERT BARS (mm)	COGS (mm)
N12	480	300	180
N16	640	400	240
N20	800	500	300

- LOCATION OF CONSTRUCTION JOINTS (IF ANY) SHALL BE SUBMITTED FOR APPROVAL TO THE PRINCIPAL REPRESENTATIVE, PRIOR TO CONSTRUCTION. CONSTRUCTION JOINTS SHALL BE ROUGHENED, CLEANED AND LAITANCE FREE. THE CONSTRUCTION JOINT SHALL BE DAMPENED PRIOR TO POURING OF NEW CONCRETE.
 - ALL CONCRETE SHALL BE CURED BY KEEPING EXPOSED SURFACES CONTINUOUSLY WET FOR 7 DAYS AFTER POURING.
 - ALL CONCRETE TO BE IN ACCORDANCE WITH CBH-ENG-ST-SST-0001 TS1 CONCRETE.
 - ALL CONCRETE EDGES TO BE CHAMFERED (20mm x 20mm)
- BACKFILLING
- BACKFILLING TO BE OF CEMENT STABILIZED FLOWABLE MIX TO AS/NZS 2041.2 APPENDIX B.
 - FILLING OF THE PITS TO BE CARRIED OUT EQUALLY AT ALL SIDES TO PREVENT TILTING.



DRAWING INDEX		PARTS LIST				
CONCRETE DESIGN DRAWINGS		PART No.	DESCRIPTION	No. REQ'D	MASS (kg)	CBH DRG No.
S093-ENG-ST-DGA-0001	CONCRETE DESIGN GENERAL ARRANGEMENT					
S093-ENG-ST-DAL-0001	CONCRETE & REINFORCEMENT LAYOUT PLAN & SECTION	1	AUGER PIT STRUCTURE	1	-	S093-ENG-ME-DGA-0001
S093-ENG-ST-DAL-0003	CONCRETE & REINFORCEMENT REAR WALKWAY LAYOUT PLAN & SECTIONS	2	AUGER STRUCTURE	2	-	S093-ENG-ME-DGA-0001
S093-ENG-ST-DTD-0001	CONCRETE & REINFORCEMENT DETAILS - SHT 1 OF 2	2	APRON SLABS	2	-	S093-ENG-ST-DAL-0001
S093-ENG-ST-DTD-0002	CONCRETE & REINFORCEMENT DETAILS - SHT 2 OF 2	1	RING BEAM	1	-	S093-ENG-ST-DAL-0001
S093-ENG-CI-DAL-0001	FINISHED SURFACE FORMATION LAYOUT PLAN & SECTIONS	5	PIT FOUNDATION SLAB	1	-	S093-ENG-ST-DAL-0001
S093-ENG-CI-DTD-0001	PIT EXCAVATION DETAILS	6	CAST-IN ANCHORS	16	-	S093-ENG-ME-ASY-0055
CBH TYPICAL DRAWINGS		7	AUGER PIT WALLS & COVER	1	-	S093-ENG-ME-ASY-0080
S000-ENG-ST-STD-0001	CONCRETE / SLAB ON GROUND TYPICAL - SHT 1 OF 2	8	REAR WALKWAY SLABS	1	-	S093-ENG-ST-DAL-0003
S000-ENG-ST-STD-0005	MCC FOOTING PLAN & SECTIONS	9	AUGER SURROUNDS SLAB	1	-	S093-ENG-ST-DAL-0001
S000-ENG-ST-STD-0006	MARSHALLING BOX AUGER AUX-1 MB STAND PLAN	10	MOTOR CONTROL CENTRE FOOTING	1*	-	S000-ENG-ST-STD-0011
		11	LIGHT POLE FOOTING	2	-	BY OTHERS
		12	PERIMETER PAVEMENT FORMATION	1	-	S093-ENG-CI-DAL-0001
		13	PROTECTIVE BOLLARD	1	-	S000-ENG-CI-STD-0012
		14	HMI CONTROL PANEL FOOTING	1*	-	S000-ENG-CI-STD-0013

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CBH GROUP
LEVEL 6
240 ST GEORGE'S TERRACE
PERTH W.A. 6000
PH (08) 9237 9600
FAX (08) 9322 9427
ABN 29 256 604 947

REF DRAWING No.	REFERENCE DRAWING TITLE	REV	DATE	REVISION DESCRIPTION	BY	CHK'D	APP'D
S093-ENG-CI-DTD-0001	EXCAVATION PLAN AND DETAILS						
S093-ENG-CI-DAL-0001	FINISHED SURFACE FORMATION - LAYOUT PLAN						
S093-ENG-ST-DTD-0002	CONCRETE & REINFORCEMENT DETAILS - SHEET 2 OF 2	3	11.03.21	RE-ISSUED FOR CONSTRUCTION - HMI SLAB SIZE ADJUSTED	PF	YKY	BC
S093-ENG-ST-DTD-0001	CONCRETE & REINFORCEMENT DETAILS - SHEET 1 OF 2	2	23.11.20	RE-ISSUED FOR CONSTRUCTION - NEW CONCRETE AND EXISTING AMENDED	PF	YKY	NH
S093-ENG-ST-DAL-0003	CONCRETE & REINFORCEMENT - REAR WALKWAY LAYOUT PLAN AND SECTIONS	1	26.09.19	RE-ISSUED FOR CONSTRUCTION - BOLLARD ADDED, ELECTRICAL FTGS AMENDED	PF	KS	NH
S093-ENG-ST-DAL-0001	CONCRETE & REINFORCEMENT - LAYOUT PLAN AND SECTION	0	15.02.19	ISSUED FOR CONSTRUCTION	PF	YKY	NH

SCALE	DRAWN	CHECKED	DESIGNED	DESIGN APPR	PROJECT APPR
1:75	P. Forrest	Y.K. Yip	P. Forrest	Y.K. Yip	N. Harding

TITLE	DATE	REV
AUGER PIT C/W TWIN Ø400 AUGERS AUGER PIT - CONCRETE CONCRETE DESIGN - NON LINK SLAB OPTION GENERAL ARRANGEMENT	30.11.18	
	15.02.19	
	15.02.19	
	15.02.19	
	15.02.19	

DRG No: **S093-ENG-ST-DGA-0001** SHEET **1 OF 1** REV. **3**

DO NOT SCALE FROM THIS DRAWING

BUSINESS PLAN
For
Major Trading Undertaking

Shire of Kondinin
Kondinin Hospital Staff Housing



June 2023

INTRODUCTION

The purpose of this Business Plan is to:

1. inform the community the Shire of Kondinin proposes to borrow funds to develop group housing on No. 51 (Lot 121) Rankin Street, Kondinin and lease it to WA Country Health Services;
2. provide opportunity for the community to consider and make informed submissions on the Business Plan; and
3. satisfy the requirements of Section 3.59 of the Local Government Act 1995.

Kondinin Hospital Staff Housing

The Kondinin Hospital Staff Housing will consist of:

- Two 2 bedroom, 2 bathroom units with self-contained kitchen, lounge, laundry and carport
- Fencing and low maintenance landscaping

The Shire of Kondinin is proposing to borrow funds to construct the units and lease the property to the WA Country Health Service for 10 years with the intention for a further 10 years on a cost recovery basis.

PROPERTY DETAILS

Land Tenure	Freehold to the Shire of Kondinin registered 25 th January 2022.
Address	No. 51 Rankin Street, Kondinin
Title Particulars	Lot 121 on DP 147549 Vol 2051 / Folio 761
Total Land Area	1,416 m ²
Zoning	Zoned R10/25 Residential under Local Planning Scheme No. 1. Grouped dwellings are a permitted use under the Town Planning Scheme.

BACKGROUND

The Kondinin Hospital provides the following services to the district:

- Permanent residential aged care
- Respite services
- 24/7 Emergency Department
- Radiology - emergency
- Acute inpatient care
- Outpatient services

- Pathology
- Extended care nursing
- Telehealth Services (inpatient and outpatient)
- Commonwealth Home Support Program services
- Palliative care
- Aboriginal health services
- Allied health services including dietetics, occupational therapy, physiotherapy, social work, continence and speech pathology
- Child development services
- Child Health clinics
- Health promotion and education
- School health services
- Mental health services
- Kulin Health Nursing Clinic
- Patient Assisted Travel Scheme

In recent years the Kondinin Hospital is finding it increasingly difficult to find suitable accommodation to cater for its' staff. Predominately for overnight stays or overflow when other housing options are not available, the hospital houses agency nurses and visiting professionals in accommodation facilities within the nurses' quarters adjacent to the Kondinin Hospital building. The hospital also houses agency nurses and visiting professionals under a periodic lease with the Shire of Kondinin for 3 x 2 bedroom dwelling in Kondinin, through a long-term extended arrangement at one of the chalets at the Shire of Kondinin operated Caravan Park and also uses local Air BnB facilities in Kondinin and Kulin.

In terms of the housing facilities adjacent to the Kondinin Hospital they are aged and do not meet staff and visitor expectations. In terms of the long term occupancy of Shire housing, short stay accommodation and private short stay accommodation this is proving unsustainable and is placing stress on addressing the Shire's own staff housing issues and limiting the opportunity for short term visitor and workers accommodation in Kondinin.

The Western Australia Country Health Service is interested in leasing suitable facilities off other government agencies or private investors through their country housing investment partnership program.

RISK ASSESSMENT

Potential Risk	Potential Impact	Likelihood	Mitigation
WACHS pulls out of project	Extreme financial impact (>\$150K)	Rare	Signed lease agreement before committing to expenditure
Significant cost overruns	Extreme financial impact (>\$150K)	Unlikely	RFQ / Tender process carried out and lease agreement signed prior to construction contract being awarded. Project

			budget includes contingency amount
Finished product does not meet WACHS approval	Extreme financial impact (>\$150K)	Unlikely	WACHS involvement in RFQ / Tender development and assessment
Procurement/contract suitability	Extreme financial impact (>\$150K)	Unlikely	Undertaken by experienced Shire senior management with the option of seeking specialist advice to develop documentation for procurement & contracts if required
Lease is not renewed by WACHS and investment not fully recovered. Shire is liable for any repayments without or with significantly less rental income.	Extreme financial impact (>\$150K)	Possible	Lease term to match cost recovery term at the agreed lease fee for 10 years will be set between the Shire and WACHS. At the conclusion of the 10 year period the Shire can renegotiate a further 10 year lease which will cover the 20 year period of the Shire's loan or otherwise have the option to sell the assets or lease to another party.

LEGISLATIVE REQUIREMENTS

Section 3.59 of the Local Government Act 1995 details the process governing Commercial Enterprises by local governments, including Major Land Transactions and Major Trading Undertakings.

A Major Land Transaction is defined by the Act to be a land transaction that is not exempt under the Act, and where the total value of:

- a) The consideration under the transaction; and
- b) Anything done by the local government for achieving the purposes of the transaction; is more, or is worth more, than \$2 million.

A Major Trading Undertaking is defined as a trading undertaking that:

- a) in the last completed financial year, involved; or
- b) in the current financial year or the financial year after the current financial year, is likely to involve; expenditure by the local government of more than \$5 million for the purposes of this definition.

The Trading Undertaking means an activity carried on by a local government with a view to producing profit. Before the Shire enters into a Major Land Transaction or commences a Major Trading Undertaking, it is required to prepare a Business Plan that includes an overall assessment of Major Trading Undertaking and Major Land Transaction including:

- a) expected effect on the provision of facilities and services by the Shire;
- b) expected effect on other persons providing facilities and services in the district;
- c) expected financial effect on the Shire;
- d) expected effect on the Shire's Plan for the future;
- e) the ability of the Shire to manage the performance of the transactions; and
- f) any other matter prescribed for the purposes of the subsection.

The Local Government Act 1995 also requires the Shire to give state-wide public notice that:

- the Shire proposes to enter into a Major Land Transaction and Major Trading Undertaking described in the notice; and
- a copy of the Business Plan may be inspected or obtained at any place specified in the notice.

The Shire is to make a copy of the Business Plan available for public inspection in accordance with the notice. The Shire is to also publish a copy of the Business Plan on its official website.

Submissions about the proposed land transaction or undertaking may be made to the Shire before a day to be specified in the notice, being a day that is not less than six weeks after the notice is given. After the last day for submissions, the Shire is to consider any submissions made and may decide by absolute majority to proceed with the undertaking and transaction as proposed or so that it is not significantly different from what was proposed.

In this scenario the Major Trading Undertaking applies. The Shire owns in freehold the property proposed to be developed at No. 51 (Lot 121) Rankin Street, Kondinin.

ASSESSMENT OF TRANSACTION

a) Expected effect on the provision of facilities and services by the Shire

The provision of housing to the WA Country Health Service for staff at the Kondinin Hospital is not expected to impact on the other facilities and services offered by the Shire. It will create a minor, ongoing increase in workload for Shire staff in relation to property management and financial service which can be accommodated within the exiting staffing resources.

b) Expected effect on other persons providing facilities and services in the district

According to ABS (2021) statistics, the median rent for housing in the Shire of Kondinin is \$148 per week (Kondinin \$120 per week; Karlgarin \$80 per week and Hyden \$175 per week). Currently the demand for rental accommodation exceeds supply across the Shire and the Hospital is trying to house staff in dated facilities that are at the end of their useful life and/or through the Shire and private landlords which is placing pressures on the Shire and private landlords being able to provide housing for staff employees and short stay accommodation for tourists and contract workers.

It is not envisaged that developing new housing for WA Country Health Service will have a detrimental effect on any private landlords.

The provision of modern housing to staff working at the Kondinin Hospital will improve their ability to attract and retain suitable staff. This is expected to assist the Hospital remain a viable facility and associated allied health services and for the Shire to continue to attract and retain a local GP.

c) Expected financial effect on the Shire

In order to engage in this investment partnership the Shire of Kondinin is required to take out a 20 year loan from the State Treasury. The investment model prescribed by the WA Country Health Services is based on a 25 year cost recovery scenario over an initial 10 year lease. Whilst the provision of housing to the WA Country Health Service for staff at the Kondinin Hospital is expected to be 'cost neutral' to the Shire, this will only be the case if a further 10 year lease is entered. The cost to finance, develop and maintain the properties will be recovered over the initial 10 year lease as follows:

Capital Cost to develop property	\$900, 000
Borrowing Costs	\$588,485.31
Annual operating/maintenance costs (over 25 years)	\$500,000
Total cost over 25 years	\$1,988,485

Monthly lease – 300 months @ \$6,628 month
Equates to weekly rent per unit of \$828.53

At the end of the ten year lease period, the Shire anticipate to have the opportunity to continue leasing the facilities to the WA Country Health Service, or other parties, enabling a cost neutral scenario to the Shire or selling the assets offering the potential to provide a positive income stream in the future.

d) Expected effect on the Shire's Plan for the future

The Shire of Kondinin Council Plan recognises the retention of medical services as a community priority and identifies the need for housing and rental stock to assist in the attraction and retention of the local workforce.

Strategic Community Plan (2022-2032)

The construction of residential dwellings for the Kondinin Hospital supports the following section of the Shire's Strategic Community Plan 2022 – 2032

“1. COMMUNITY

1.2 Facilitate and advocate for quality health services, health facilities and programs in the Shire Local health facilities, visiting allied health and volunteer health services are retained

2. ECONOMY

2.4 Housing meets existing and future community needs for families and workers Shire housing stock is well maintained and expanded upon

We advocate for improved State Government and Public Housing stock.”

Future versions of the Long Term Financial Plan, Asset Management Plan and Housing Plan will need to take into account the lease income, loan repayments and property maintenance.

e) The ability of the Shire to manage the performance of the transactions

The Shire can accommodate the ongoing management and maintenance of the properties within its current staffing levels.

The initial development of the property will also be undertaken in-house by Shire employees through the Shire's Procurement Policy framework with specialist external advice sought as required.

f) Any other matter prescribed for the purposes of the subsection

Nil.

LODGEMENT OF SUBMISSIONS

Submissions on the intended development and disposition are to be made in writing and to be received no later than 21st 5.00pm August 2023.

Submissions to be addressed to the:

David Burton
Chief Executive Officer
Shire of Kondinin

PO Box 7
KONDININ WA 6367

Submissions may be submitted electronically to ceo@kondinin.wa.gov.au



130m from back of current development to first chalet

116m from Campground toilet to back of chalets

The Camp - Wave Rock Short Stay

New project distance to lot boundaries
196m E 102m N
320m W 250m S

The Meadow

2x1 42 SQM



65K

+ gst



12m x 3.5m
2 Bedrooms
Kitchen
Bathroom
2 x A/C units





5m minimum between each building – may be more if BAL assessment recommends

-- Map Viewer Plus --

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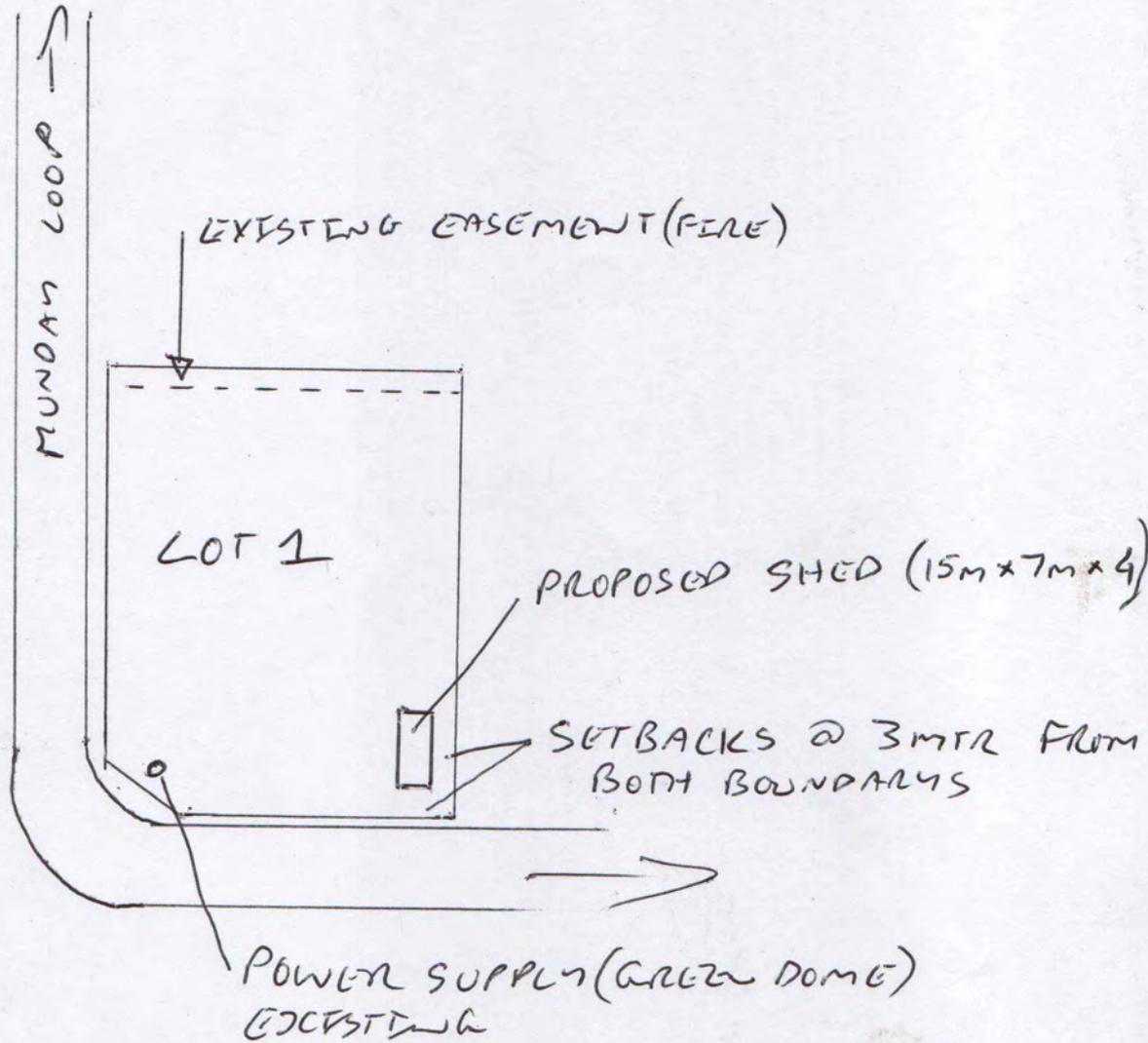
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SITE PLAN

11/6/23

1 MUNDAN LOOP, HYDRA

A-2



1:1250 (NOT TO SCALE)

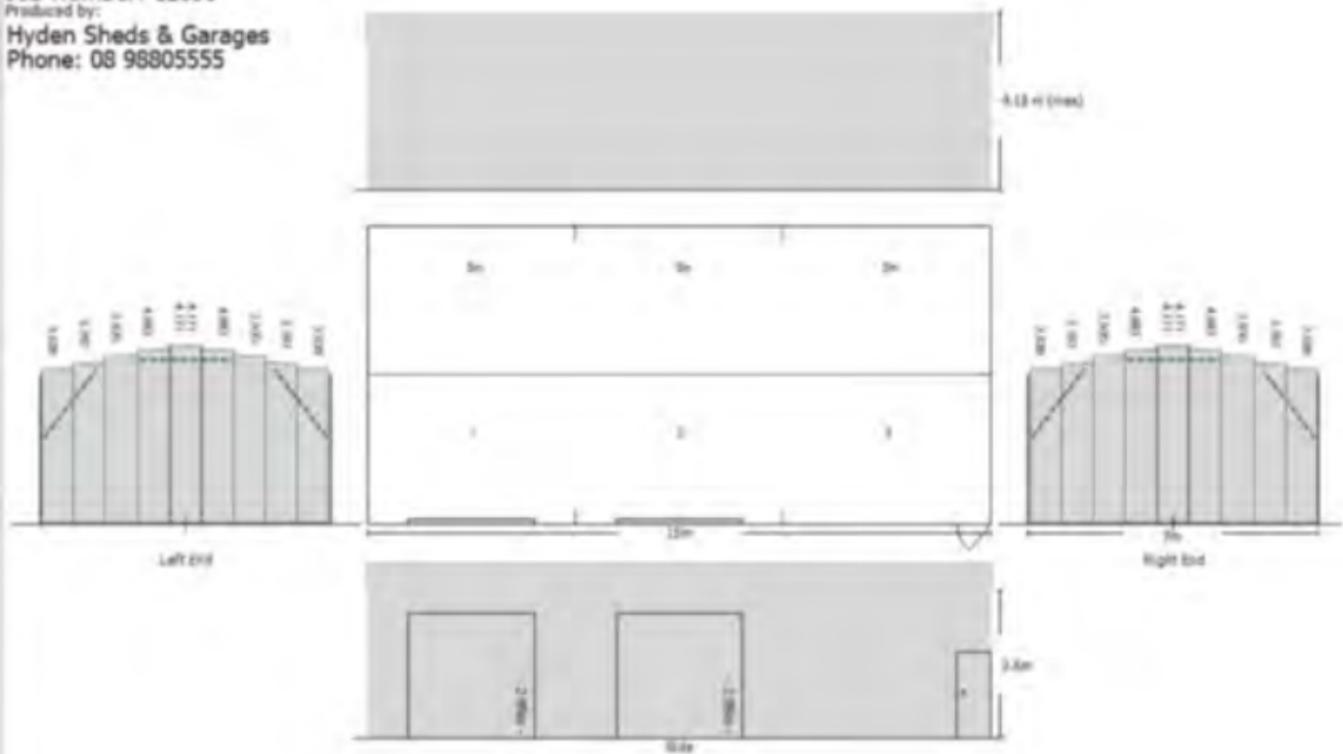
GREEN (WA) PTY LTD
P.O. BOX 118
HYDRA WA 6359

MUNDAY LOOP



MUNDAY LOOP

Building For:
Paul Green
Lot 1 Munday Loop Hyden
Job Number: 12656
Produced by:
Hyden Sheds & Garages
Phone: 08 98805555



9.2.1 List of Accounts

21st June 2023

CERTIFICATE OF CHIEF EXECUTIVE OFFICER

The Schedule of Cheques, EFTs and Direct Debits as submitted to each Member of Council on 21st June 2023 have been checked and is fully supported by Vouchers and Invoices which have been duly certified as to the receipt of goods and rendition of services and as to prices, computations and costings and the amounts shown have been paid. Details as follows:

Municipal Account

Electronic Fund Transfers	EFT16869 - 17010	\$	659,372.95
Cheques	19319 to 19326	\$	47,574.76
Direct Debits - Transport - Hyden		\$	15,177.60
Direct Debits - Transport - Kondinin		\$	18,015.75
Direct Debits - Credit Cards	DD19969.1	\$	898.29
Direct Debits - Other		\$	47,463.63
EFTPOS Merchant Fees		\$	1,253.64
Bank Fees - NAB Connect & Tyro		\$	151.16
Payroll EFTs		\$	116,869.25
	Total Muni	\$	906,777.03

Trust Account

Cheque/s		\$	-
Electronic Fund Transfers		\$	-
	Total Trust	\$	-

TOTAL

\$ 906,777.03

Signed:



CHIEF EXECUTIVE OFFICER

List of Accounts Due & Submitted to Council 01/05/2023 to 31/05/2023

Chq/EFT/ INV	Date	Name	Description	Bank	Inv Amount	Paid Amount	
EFT16869 SITTING FEES APR '23	01/05/2023 27/04/2023	THOMAS MULCAHY THOMAS MULCAHY	Sitting Fees April 2023 Ordinary Council Meeting April 2023 Sitting Fees, Travelling Fees	1 1		-\$ 434.20	434.20
EFT16870 SITTING FEES APR '23	01/05/2023 27/04/2023	KERRIE LORRAINE GREEN KERRIE LORRAINE GREEN	Sitting Fees April 2023 Ordinary Council Meeting April 2023 Sitting Fees	1 1		-\$ 230.00	230.00
EFT16871 SITTING FEES APR '23	01/05/2023 27/04/2023	PAUL SEIMON GREEN PAUL SEIMON GREEN	Sitting Fees April 2023 Ordinary Council Meeting April 2023 Sitting Fees	1 1		-\$ 310.00	310.00
EFT16872 SITTING FEES APR '23	01/05/2023 27/04/2023	MURRAY JAMES MURRAY JAMES	Sitting Fees April 2023 Ordinary Council Meeting April 2023 Sitting Fees, Travelling Fees	1 1		-\$ 612.85	612.85
EFT16873 SITTING FEES APR '23	01/05/2023 27/04/2023	DARREN LYNDISAY POOL DARREN LYNDISAY POOL	Sitting Fees April 2023 Ordinary Council Meeting April 2023 Sitting Fees	1 1		-\$ 230.00	230.00
EFT16874 SITTING FEES APR '23	01/05/2023 27/04/2023	BRUCE BROWNING BRUCE BROWNING	Sitting Fees April 2023 Ordinary Council Meeting April 2023 Sitting Fees, Travelling Fees	1 1		-\$ 272.05	272.05
EFT16875 SITTING FEES APR '23	01/05/2023 27/04/2023	Beverley Gangell Beverley Gangell	Sitting Fees April 2023 Ordinary Council Meeting April 2023 Sitting Fees, Travelling Fees	1 1		-\$ 470.40	470.40
EFT16876 SITTING FEES APR '23	01/05/2023 27/04/2023	BC and CA Smith BC and CA Smith	Sitting Fees April 2023 Ordinary Council Meeting April 2023 Sitting Fees, Travelling Fees	1 1		-\$ 539.30	539.30
EFT16877	05/05/2023	Merredin Telephone Services	SECURITY MONITORING OF SECURITY SYSTEM - 2022-2023	1		-\$	35.20
	2615	01/05/2023 Merredin Telephone Services	SECURITY MONITORING OF SECURITY SYSTEM - 2022-2023	1	\$	35.20	
EFT16878	05/05/2023	WILLWAY PLUMBING	Plumbing Work	1		-\$	904.20
	04020	01/05/2023 WILLWAY PLUMBING	Plumbing maintenance works at the Kondinin Art Centre	1	\$	270.60	
	04022	01/05/2023 WILLWAY PLUMBING	Plumbing maintenance works at Kondinin Shire Office	1	\$	407.00	
	04023	01/05/2023 WILLWAY PLUMBING	Plumbing maintenance at Kondinin Sporting Precinct	1	\$	226.60	
EFT16879	05/05/2023	Team Global Express Pty	Deliviers	1		-\$	31.44
	0578-	30/04/2023 Team Global Express Pty	Corsign, Kondinin Med	1	\$	31.44	
EFT16880	05/05/2023	KONDININ IGA XPRESS	April Purachses	1		-\$	354.21
	APRIL 2023	30/04/2023 KONDININ IGA XPRESS	Office Consumables GST inc, Members Consumables GST inc, Caravan Park Consumables GST inc, Depot Consumables GST exc, Newspapers	1	\$	354.21	
EFT16881	05/05/2023	Kondinin Hotel	Ordinary Council Meeting Catering April 2023 (14 pax)	1		-\$	550.00
	28203	30/04/2023 Kondinin Hotel	Ordinary Council Meeting Catering April 2023 (14 pax)	1	\$	550.00	
EFT16882	05/05/2023	Telstra Limited	MOBILE PHONE USAGE	1		-\$	1,300.57
	TIM & MOBILES	03/05/2023 Telstra Limited	TIM & DONAGLS	1	\$	340.30	
		03/05/2023 Telstra Limited	MOBILES	1	\$	960.27	
EFT16883	05/05/2023	Landgate	Title Searches May 23	1		-\$	183.15
	383644	27/04/2023 Landgate	Mining Tenments	1	\$	42.15	
	1280438	01/05/2023 Landgate	Title Searches May 23	1	\$	141.00	
EFT16884	05/05/2023	Bush Bakehouse	Catering for Bushfire Training at Hyden FESA Shed- 25 October 2022	1		-\$	945.00
	55	25/10/2022 Bush Bakehouse	Catering for Bushfire Training at Hyden FESA Shed- 25 October 2022	1	\$	740.25	
	58	24/02/2023 Bush Bakehouse	Dummies catering	1	\$	204.75	
EFT16885	05/05/2023	Liberty Rural	PO 25632	1		-\$	19,687.80
	F1320000225	28/04/2023 Liberty Rural	DIESEL - KONDININ & HYDEN DEPOTS	1	\$	19,687.80	
EFT16886	05/05/2023	Best Office Systems	AG029	1		-\$	310.36
	615921	27/04/2023 Best Office Systems	Copier contract	1	\$	310.36	
EFT16887	05/05/2023	Hyden Community Resource Centre	Community Grant 22/23	1		-\$	7,000.00
	33604	01/05/2023 Hyden Community Resource Centre	Community Grant 2022/2023 - Hyden CRC	1	\$	7,000.00	
EFT16888	05/05/2023	Perfect Computer Solutions Pty Ltd	IT Support	1		-\$	382.50
	27954	27/04/2023 Perfect Computer Solutions Pty Ltd	Installed Jave on ESO pc updated play account new synergy shortcut for EHO reset FAO password fixed fdrive on chamber pc	1	\$	382.50	
EFT16889	05/05/2023	WALGA	Traineeship Elizabeth Woods (Cert III)	1		-\$	325.00
	SI-004297	14/03/2023 WALGA	Traineeship Elizabeth Woods (Cert III)	1	\$	325.00	

List of Accounts Due & Submitted to Council 01/05/2023 to 31/05/2023

Chq/EFT/ INV	Date	Name	Description	Bank	Inv Amount	Paid Amount
EFT16890	05/05/2023	MOORE AUSTRALIA (WA) PERTH	2023 Financial Reporting & Management Workshops - 18& 19 May 2023 MCS	1		-\$ 2,596.00
3133	21/12/2022	MOORE AUSTRALIA (WA) PERTH	2023 Financial Reporting Workshop - 19 May Attend In Person - Discounted Registration (20% discount)	1	\$ 1,672.00	
3132	21/12/2022	MOORE AUSTRALIA (WA) PERTH	2023 Management Reporting Workshop - 18 May Livestream Attendance - Discounted Registration (20% discount)	1	\$ 924.00	
EFT16891	05/05/2023	IT Vision	Rates Training L Genis & R Hendry	1		-\$ 2,337.50
38363	30/04/2023	IT Vision	Synergy Soft Rates Modelling - Full Day - 13th Feb Rachael & Leandr�, Synergy Soft Pensioners & Seniors - Full Day - 27th Feb Leandr�, Synergy Soft Introductory Rates & Property Essentials - Two Days - 14 & 15 Mar - Rachael & Leandr�, Synergy Soft Rates Wa Interim Rating - Two Days - 17 & 18 Apr - Rachael & Leandr�, Synergy Soft End of Year Rates & Billing - Two Days - 29 & 30 May -	1	\$ 2,337.50	
EFT16892	05/05/2023	HYDEN CWA	Cookbook	1		-\$ 15.00
37	21/03/2023	HYDEN CWA	Hyden CWA Cook Book	1	\$ 15.00	
EFT16893	05/05/2023	RURAL TRAFFIC SERVICES	PO 25487	1		-\$ 4,853.20
4311	27/04/2023	RURAL TRAFFIC SERVICES	Traffic Control 3/5/23-5/5/23	1	\$ 4,853.20	
EFT16894	05/05/2023	FEGAN BUILDING	Building Surveyor	1		-\$ 792.00
993	30/04/2023	FEGAN BUILDING	BUILDING SERVICES - 2022 - 2023	1	\$ 792.00	
EFT16895	05/05/2023	THE AG SHOP	PO 25392	1		-\$ 16.86
38562	01/05/2023	THE AG SHOP	Clamp Worm Drive 46-70mm	1	\$ 2.48	
38896	01/05/2023	THE AG SHOP	Jcim X Unom Nipple	1	\$ 14.38	
EFT16896	05/05/2023	Solution 4 Building	Claim 3 for Project	1		-\$ 211,184.01
2065	26/04/2023	Solution 4 Building	HYDEN SWIMMING POOL CHANGEROOM	1	\$ 211,184.01	
EFT16897	05/05/2023	KG'S DIESEL SERVICE CENTRE	PO 25668	1		-\$ 10,048.30
5507	01/03/2023	KG'S DIESEL SERVICE CENTRE	Ram Rebuild KN57	1	\$ 2,459.95	
5510	03/03/2023	KG'S DIESEL SERVICE CENTRE	1000hr service KN61 Hilux	1	\$ 141.81	
5511	07/03/2023	KG'S DIESEL SERVICE CENTRE	Breakdown Labour Dam pump	1	\$ 143.00	
5519	13/03/2023	KG'S DIESEL SERVICE CENTRE	Service KN89 Canter Crew Cab	1	\$ 862.11	
5522	16/03/2023	KG'S DIESEL SERVICE CENTRE	Breakdown repair KN66 Loader	1	\$ 397.54	
5523	17/03/2023	KG'S DIESEL SERVICE CENTRE	80000K service KN0 Toyota Prado	1	\$ 854.88	
5527	21/03/2023	KG'S DIESEL SERVICE CENTRE	Pump Service Dam	1	\$ 587.18	
5531	22/03/2023	KG'S DIESEL SERVICE CENTRE	Fix breakdown for golf club pump	1	\$ 148.50	
5532	23/03/2023	KG'S DIESEL SERVICE CENTRE	System Fault repair KN60 Canter Truck	1	\$ 445.50	
5536	27/03/2023	KG'S DIESEL SERVICE CENTRE	Service KN77 Prime Mover	1	\$ 3,334.30	
5543	31/03/2023	KG'S DIESEL SERVICE CENTRE	Repair of pump, Kondinin Dam	1	\$ 673.53	
EFT16898	05/05/2023	CEA, JCB CEA AND DYNAPAC CEA	PO 25626	1		-\$ 4,673.10
P1CMP40543	26/03/2023	CEA, JCB CEA AND DYNAPAC CEA	1000hr service, KN78 Roller	1	\$ 4,673.10	
EFT16899	05/05/2023	SHAUN & ANN FRANICH	CN001	1		-\$ 16,500.00
7	28/04/2023	SHAUN & ANN FRANICH	POOL MANAGEMENT SERVICES	1	\$ 16,500.00	
EFT16900	05/05/2023	A & M Medical Services Pty Ltd	Annual Service of oxygen equipment	1		-\$ 117.70
10099	02/05/2023	A & M Medical Services Pty Ltd	Annual Service of oxygen equipment	1	\$ 117.70	
EFT16901	05/05/2023	ID Rent Pty Ltd	PO 24594	1		-\$ 5,894.23
9017	07/04/2023	ID Rent Pty Ltd	Hire of smooth drum roller	1	\$ 2,272.06	
9036	27/04/2023	ID Rent Pty Ltd	Loader Track Compact TL8, Repairs to vehicle	1	\$ 3,622.17	
EFT16902	05/05/2023	WE WILL DO CLEANING SERVICE	Cleaning Contract CN011	1		-\$ 1,842.50
91	24/04/2023	WE WILL DO CLEANING SERVICE	Cleaning Services 24/04/2023-30/04/2023	1	\$ 1,842.50	

List of Accounts Due & Submitted to Council 01/05/2023 to 31/05/2023

Chq/EFT/ INV	Date	Name	Description	Bank	Inv Amount	Paid Amount
EFT16903	05/05/2023	AFGRI EQUIPMENT AUSTRALIA PTY LTD	PO 25625	1		-\$ 2,448.72
37753	20/04/2023	AFGRI EQUIPMENT AUSTRALIA PTY LTD	500hr service, KN65 Grader	1	\$ 2,448.72	
EFT16904	05/05/2023	CIVIC LEGAL	Legal Fees for Whispering Gums Lease and Joint Venture Agreement	1		-\$ 41,954.99
511070	31/03/2023	CIVIC LEGAL	Legal Fees for Whispering Gums Lease and Joint Venture Agreement	1	\$ 22,085.91	
511157	31/03/2023	CIVIC LEGAL	Legal Fees for Wave Rock Leases	1	\$ 19,869.08	
EFT16905	05/05/2023	WA Contract Ranger Services Pty Ltd	RANGER SERVICES - 01/07/2022 - 30/06/2023	1		-\$ 2,337.50
4674	29/04/2023	WA Contract Ranger Services Pty Ltd	RANGER SERVICES - 01/07/2022 - 30/06/2023	1	\$ 2,337.50	
EFT16906	05/05/2023	WHEATBELT CLEAN	Cleaning Contract CN012	1		-\$ 1,870.00
16528	24/04/2023	WHEATBELT CLEAN	Cleaning Services 24/04/2023-30/04/2023	1	\$ 1,870.00	
EFT16907	05/05/2023	BCE Surveying	PO 25633	1		-\$ 19,745.00
14493	26/04/2023	BCE Surveying	Surveying of road	1	\$ 19,745.00	
EFT16908	09/05/2023	Kondinin Social Club	Payroll deductions	1		-\$ 70.00
DEDUCTION	07/05/2023	Kondinin Social Club	Payroll deductions	1	\$ 70.00	
EFT16909	09/05/2023	Australian Services Union	Payroll deductions	1		-\$ 51.80
DEDUCTION	07/05/2023	Australian Services Union	Payroll deductions	1	\$ 51.80	
EFT16910	09/05/2023	KONDININ IGA XPRESS	Payroll deductions	1		-\$ 100.00
DEDUCTION	07/05/2023	KONDININ IGA XPRESS	Payroll deductions	1	\$ 100.00	
EFT16911	09/05/2023	Kondinin Trust Fund	Payroll deductions	1		-\$ 1,230.00
DEDUCTION	07/05/2023	Kondinin Trust Fund	Payroll deductions	1	\$ 1,230.00	
EFT16912	09/05/2023	Child Support Agency	Payroll deductions	1		-\$ 648.19
DEDUCTION	07/05/2023	Child Support Agency	Payroll deductions	1	\$ 648.19	
EFT16913	11/05/2023	Kondinin Netball Club	Anzac Day Breakfast	1		-\$ 600.00
25/05/23	10/05/2023	Kondinin Netball Club	Anzac Day Breakfast Kondinin 2023	1	\$ 600.00	
EFT16914	11/05/2023	EW & RJ PUGH	Soak Pumping	1		-\$ 348.50
0969	03/05/2023	EW & RJ PUGH	Empty soak well / tank at Kondinin Shire Office	1	\$ 348.50	
EFT16915	11/05/2023	RedFish Technologies Pty Ltd	New CCTV Camera at Wave Rock	1		-\$ 7,695.60
4377	22/04/2023	RedFish Technologies Pty Ltd	Router for Hyden Swimming Pool Building CCTV camera	1	\$ 416.90	
4376	22/04/2023	RedFish Technologies Pty Ltd	New CCTV Camera at Wave Rock	1	\$ 7,278.70	
EFT16916	11/05/2023	Resonline Pty Ltd	April	1		-\$ 84.70
154520	30/04/2023	Resonline Pty Ltd	ROOM MANAGER - MONTHLY FEE - 2022- 2023	1	\$ 84.70	
EFT16917	11/05/2023	Heritage Intelligence (WA)	Engagement of Consultant to Review Shire's Heritage Survey	1		-\$ 2,546.50
23028	07/05/2023	Heritage Intelligence (WA)	Engagement of Consultant to Review Shire's Heritage Survey	1	\$ 2,546.50	
EFT16918	11/05/2023	WILLWAY PLUMBING	New leach drain for Hyden Golf Club	1		-\$ 4,200.90
04033	10/05/2023	WILLWAY PLUMBING	New leach drain for Hyden Golf Club	1	\$ 4,200.90	
EFT16919	11/05/2023	CIVIQ PTY LTD	Replacement water fountain at Hyden Sports Pavilion	1		-\$ 4,708.00
42231	04/05/2023	CIVIQ PTY LTD	Replacement water fountain at Hyden Sports Pavilion	1	\$ 4,708.00	
EFT16920	11/05/2023	LISA ADELAIDE BIGLIN	CARE PLANS & HEALTH ASSESSMENTS	1		-\$ 3,537.72
JAN-MAR 23	30/04/2023	LISA ADELAIDE BIGLIN	CARE PLANS & HEALTH ASSESSMENTS	1	\$ 3,537.72	
EFT16921	11/05/2023	Avon Waste	Waste Disposal Agreement AG001	1		-\$ 20,124.53
55817	30/04/2023	Avon Waste	Domestic Rubbish, Recycling, KN WTS, HY WTS, ROE ROC WTS	1	\$ 20,124.53	
EFT16922	11/05/2023	Australian Taxation Office	BAS, April 2023 - Amount Owing to ATO	1		-\$ 19,635.00
BAS/APR-23	10/05/2023	Australian Taxation Office	Gst on Sales, Gst on Purchases, Payroll Withholding Tax, Fuel Rebate Claim, Rounding	1	\$ 19,635.00	
EFT16923	11/05/2023	Australian Institute of Management Western Australia Limited	Professional Membership 1/5/23 - 30/4/24	1		-\$ 49.00
M537113-23	18/04/2023	Australian Institute of Management Western Australia Limited	Professional Membership 1/5/23 - 30/4/24	1	\$ 49.00	
EFT16924	11/05/2023	Arrow Bronze	Niche Wall Ray	1		-\$ 405.30
737104	08/05/2023	Arrow Bronze	DOUBLE NICHE WALL PLAQUE - LIZ RAY AS PER ORDER FORM	1	\$ 405.30	
EFT16925	11/05/2023	BOC Limited	Medical Cylinders	1		-\$ 58.05
4033801228	28/04/2023	BOC Limited	Medical Cylinders, Oxtgen & Accetylene Cylinders	1	\$ 58.05	
EFT16926	11/05/2023	Team Global Express Pty	Deliveries	1		-\$ 34.80
0579-	07/05/2023	Team Global Express Pty	CJD, PCS	1	\$ 34.80	
EFT16927	11/05/2023	Ilich Hardware & Rural	PO 25685	1		-\$ 1,036.20
1-01-059873	29/04/2023	Ilich Hardware & Rural	Town gardening Supplies, Depot Consumables	1	\$ 1,036.20	

List of Accounts Due & Submitted to Council 01/05/2023 to 31/05/2023

Chq/EFT/ INV	Date	Name	Description	Bank	Inv Amount	Paid Amount
EFT16928	11/05/2023	Craig Soper Contracting	PO 25691	1		-\$ 494.45
2295	09/05/2023	Craig Soper Contracting	33000 km service, KN58 Prime Mover	1	\$ 494.45	
EFT16929	11/05/2023	Waveline Hardware	PO 25395	1		-\$ 68.00
10106448	08/05/2023	Waveline Hardware	Rake Handle x2 Garden hand scoop	1	\$ 68.00	
EFT16930	11/05/2023	Wave Rock Caravan Park & Chalets	Electricity & Water bills reimbursement	1		-\$ 525.82
0146	30/04/2023	Wave Rock Caravan Park & Chalets	Electricity 1044 Units, Water 46 Units	1	\$ 525.82	
EFT16931	11/05/2023	Kondinin Community Resource Centre	BBQ Hire Gunfire Breakfast 23	1		-\$ 60.00
478141	04/05/2023	Kondinin Community Resource Centre	BBQ Hire Gunfire Breakfast 23	1	\$ 60.00	
EFT16932	11/05/2023	Hyden Community Resource Centre	Hyden Householder: Shire News April 2023	1		-\$ 210.00
33521	28/04/2023	Hyden Community Resource Centre	Hyden CRC - Shire notice	1	\$ 30.00	
33521	28/04/2023	Hyden Community Resource Centre	Hyden Householder: Shire News April 2023	1	\$ 180.00	
EFT16933	11/05/2023	Perfect Computer Solutions Pty Ltd	Surface Pro 9	1		-\$ 2,542.50
27975	04/05/2023	Perfect Computer Solutions Pty Ltd	Update play account and fix chambers laptop	1	\$ 212.50	
27986	09/05/2023	Perfect Computer Solutions Pty Ltd	Surface Pro with keyboard cover and touch pen as per quote	1	\$ 2,330.00	
EFT16934	11/05/2023	Waveline Tyres	PO 25628	1		-\$ 1,508.90
46054	01/12/2022	Waveline Tyres	Credit for 2 batteries	1	-\$ 506.00	
045963	05/12/2022	Waveline Tyres	22.02ltr ULP	1	\$ 42.50	
46131	14/12/2022	Waveline Tyres	Tyre Repair tyre and o ring	1	\$ 225.50	
47956	18/04/2023	Waveline Tyres	Tyre Repair	1	\$ 108.90	
48035	24/04/2023	Waveline Tyres	11r22.5 Moby 18pl trailer	1	\$ 1,638.00	
EFT16935	11/05/2023	IT Vision	Rates Training	1		-\$ 2,337.50
38258	30/03/2023	IT Vision	Synergy Soft Rates Rachael & Leandr�	1	\$ 2,337.50	
EFT16936	11/05/2023	Symbion Pharmacy Services Pty Ltd	April Purchases	1		-\$ 56.09
195273418	05/05/2023	Symbion Pharmacy Services Pty Ltd	April Purchases	1	\$ 56.09	
EFT16937	11/05/2023	HYDEN TRANSPORT	PO 25624	1		-\$ 14,333.55
762	08/04/2023	HYDEN TRANSPORT	Cartage of Aggregate GGR Lovering Rd	1	\$ 14,333.55	
EFT16938	11/05/2023	CleverPatch Pty Ltd	NAIDOC week arts & crafts	1		-\$ 415.12
479541	23/02/2023	CleverPatch Pty Ltd	NAIDOC week arts & crafts	1	\$ 415.12	
EFT16939	11/05/2023	CJD EQUIPMENT PTY LTD	PO 25682	1		-\$ 280.86
002609765	13/04/2023	CJD EQUIPMENT PTY LTD	Ordered parts for vehicle	1	\$ 280.86	
EFT16940	11/05/2023	ELGAS LIMITED	GAS BOTTLES	1		-\$ 512.16
1610932240	05/05/2023	ELGAS LIMITED	GAS BOTTLES, KN CARAVAN PARK AND KN PAVILION	1	\$ 512.16	
EFT16941	11/05/2023	THE AG SHOP	PO 25392	1		-\$ 116.60
38775	13/04/2023	THE AG SHOP	Adblue Nozzle	1	\$ 116.60	
EFT16942	11/05/2023	SHAUN & ANN FRANICH	Mobile lighting for community events	1		-\$ 784.97
8	08/05/2023	SHAUN & ANN FRANICH	Mobile lighting for community events	1	\$ 784.97	
EFT16943	11/05/2023	DYNAMIC CLEANING SERVICES & GENERAL BUILDING MAINTENANCE	Gutter Clean KN Depot	1		-\$ 7,315.00
1202	30/04/2023	DYNAMIC CLEANING SERVICES & GENERAL BUILDING MAINTENANCE	Gutters Clean: KN Arts Centre, KN Shire Office, KN Depot, KN Community Resource Centre, KN Town Hall, KN Caravan Park & Chalets, West Shops (Woodbee), KN Medical Centre, Karlgarin Town Hall, Karlgarin Public Toilets, Hyden Rec Centre, Hyden Day Care, Hyden Youth Base, Hyden Netball Shed, Hyden Depot, Wave Rock Public Toilets, Hyden Community Resource Centre, Hyden Town Hall, Hyden Library Office	1	\$ 5,819.00	
1201	30/04/2023	DYNAMIC CLEANING SERVICES & GENERAL BUILDING MAINTENANCE	Gutter Clean 21 Young Ave, Gutter Clean 84 Graham Street, Gutter Clean 32 Repacholi Parade, Gutter Clean 76 Graham Street, Gutter Clean 46 Graham Street, Gutter Clean 41 Repacholi parade, Gutter Clean 6 Hinck Street, Gutter Clean 35 Smith Loop	1	\$ 1,496.00	
EFT16944	11/05/2023	Mc Pest Control	Pest Control Hyden Rec Centre	1		-\$ 825.00
1601	05/05/2023	Mc Pest Control	Pest Control Medical Centre, Pest Control 76 Graham Street, Kondinin, Pest Control Hyden Rec Centre, Pest Control Hyden Tennis Club	1	\$ 825.00	

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Chq/EFT/ INV	Date	Name	Description	Bank	Inv Amount	Paid Amount
EFT16945	11/05/2023	PERITUS TECHNOLOGY	CALEB WEB OFFICE BASICS & CREDIT CARD TRANSACTION FEE CHARGES - 2022-2023	1		-\$ 87.20
103244	05/05/2023	PERITUS TECHNOLOGY	CALEB WEB OFFICE BASICS & CREDIT CARD TRANSACTION FEE CHARGES - 2022-2023	1	\$ 87.20	
EFT16946	11/05/2023	WE WILL DO CLEANING	Cleaning Contract CN011	1		-\$ 1,952.50
92	01/05/2023	WE WILL DO CLEANING SERVICE	Cleaning Service - 1/05/23 - 7/05/23	1	\$ 1,952.50	
EFT16947	11/05/2023	NEWGROUND WATER	PO 25623	1		-\$ 26,099.15
1110985	27/04/2023	NEWGROUND WATER SERVICES PTY LTD	Pumps a& gen sets for town and CBH dams	1	\$ 26,099.15	
EFT16948	11/05/2023	CIVIC LEGAL	Legal Fees for Wave Rock Leases	1		-\$ 3,187.64
511247	30/04/2023	CIVIC LEGAL	Legal Fees for Whispering Gums Lease and Joint Venture Agreement	1	\$ 698.23	
511262	30/04/2023	CIVIC LEGAL	Legal Fees for Wave Rock Leases	1	\$ 2,489.41	
EFT16949	11/05/2023	WHEATBELT CLEAN	Cleaningn Contract CN012	1		-\$ 1,892.00
16543	01/05/2023	WHEATBELT CLEAN	Cleaning Service - 1/05/23 - 7/05/23	1	\$ 1,892.00	
EFT16950	11/05/2023	COMPLETE OFFICE SUPPLIES PTY LTD	Stationery Order	1		-\$ 87.12
11857598	07/03/2023	COMPLETE OFFICE SUPPLIES PTY LTD	Stationery Order	1	\$ 87.12	
EFT16951	18/05/2023	WEST COAST ESTIMATING	Quantity Surveyor Report for Kondinin Sports Pavilion	1		-\$ 770.00
20231	27/04/2023	WEST COAST ESTIMATING	Quantity Surveyor Report for Kondinin Sports Pavilion	1	\$ 770.00	
EFT16952	18/05/2023	DIRECT ELECTRICAL SERVICES	fix faulty oven at 35 smith loop, hyden	1		-\$ 253.44
5	15/05/2023	DIRECT ELECTRICAL SERVICES	fix faulty oven at 35 smith loop, hyden	1	\$ 253.44	
EFT16953	18/05/2023	Kondinin Calendar	Kondinin Calendar May 6 pages colour	1		-\$ 300.00
2275	11/05/2023	Kondinin Calendar	Kondinin Calendar May 6 pages colour	1	\$ 300.00	
EFT16954	18/05/2023	Abco	PO 25693	1		-\$ 2,924.52
870256	09/05/2023	Abco	Toilet Supplies	1	\$ 2,924.52	
EFT16955	18/05/2023	BOC Limited	Nitrogen Liquid	1		-\$ 30.14
4033933478	12/05/2023	BOC Limited	Nitrogen Liquid	1	\$ 30.14	
EFT16956	18/05/2023	Team Global Express Pty	Delivers	1		-\$ 126.42
0580-	15/05/2023	Team Global Express Pty	Westrac, BOC & Pathwest, Shred X	1	\$ 126.42	
EFT16957	18/05/2023	Kondinin Tyre & Battery Service	PO 25692	1		-\$ 33.00
32470	23/05/2023	Kondinin Tyre & Battery Service	Tyre puncturte repair kit	1	\$ 33.00	
EFT16958	18/05/2023	Recharge-It	Toner for Depot	1		-\$ 962.10
1618855	11/05/2023	Recharge-It	x4 printer cartridges black, cyan, magenta, yellow (HP312X/A)	1	\$ 962.10	
EFT16959	18/05/2023	Telstra Limited	Mobiles & Internet	1		-\$ 933.38
2955043969	30/04/2023	Telstra Limited	Shire Mobiles & Internet	1	\$ 932.86	
4915073318	16/05/2023	Telstra Limited	TIM	1	\$ 0.52	
EFT16960	18/05/2023	Landgate	Mining Tenment Roll	1		-\$ 1,230.00
383975	10/05/2023	Landgate	Mining Tenment Roll,	1	\$ 1,230.00	
EFT16961	18/05/2023	Kleenheat Gas	Service Charge	1		-\$ 522.59
4511672	01/05/2023	Kleenheat Gas	Service Charges	1	\$ 93.50	
4511675	01/05/2023	Kleenheat Gas	Service Charge	1	\$ 140.25	
4511674	01/05/2023	Kleenheat Gas	Service Charge	1	\$ 93.50	
4511673	01/05/2023	Kleenheat Gas	Service Charge	1	\$ 93.50	
704606	04/05/2023	Kleenheat Gas	2x 45kg bottles	1	\$ 101.84	
EFT16962	18/05/2023	Liberty Rural	PO 25694	1		-\$ 18,855.38
F1320000275	15/05/2023	Liberty Rural	DIESEL - KONDININ & HYDEN DEPOTS	1	\$ 18,855.38	
EFT16963	18/05/2023	Perfect Computer Solutions Pty Ltd	Setup new surface and connect to doamin wipe old surfasce pro update play accounts install teamviewer for tory	1		-\$ 1,275.00
27990	11/05/2023	Perfect Computer Solutions Pty Ltd	Setup new surface and connect to doamin wipe old surfasce pro update play accounts install teamviewer for tory, Update BP medical activate rx and extend B2B Porda	1	\$ 1,275.00	
EFT16964	18/05/2023	HYDEN AUTO ELECTRICS	PO 25629	1		-\$ 121.00
4435	28/04/2023	HYDEN AUTO ELECTRICS	Made harness for grader blade sensor	1	\$ 121.00	
EFT16965	18/05/2023	Hyden IGA	Water & Milk	1		-\$ 32.65
29032	08/05/2023	Hyden IGA	Water & Milk	1	\$ 12.50	
29030	08/05/2023	Hyden IGA	Water & Milk	1	\$ 20.15	
EFT16966	18/05/2023	FEGAN BUILDING SURVEYING	Building Surveyor May	1		-\$ 792.00

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Chq/EFT/ INV	Date	Name	Description	Bank	Inv Amount	Paid Amount
1001	15/05/2023	FEGAN BUILDING SURVEYING	BUILDING SERVICES - 2022 - 2023	1	\$ 792.00	
EFT16967 1610930526	18/05/2023 02/05/2023	ELGAS LIMITED ELGAS LIMITED	Service Charge for 2x 45kg bottles Service Charge for 2x 45kg bottles, #28 Repacholi Pde	1 1	 \$ 105.60	-\$ 105.60
EFT16968 39539	18/05/2023 10/05/2023	THE AG SHOP THE AG SHOP	PO 25396 Grease Nipple refills and Bail blocks	1 1	 \$ 62.29	-\$ 62.29
EFT16969 2179	18/05/2023 12/05/2023	MINERAL CRUSHING MINERAL CRUSHING	PO 25634 Approx. 200tn of Cracker dust - Hyden	1 1	 \$ 3,136.39	-\$ 3,136.39
EFT16970 4705	18/05/2023 14/05/2023	WA Contract Ranger Services Pty Ltd WA Contract Ranger Services Pty Ltd	Ranger Services RANGER SERVICES - 01/07/2022 - 30/06/2023	1 1	 \$ 2,033.63	-\$ 2,033.63
EFT16971 16552	18/05/2023 08/05/2023	WHEATBELT CLEAN WHEATBELT CLEAN	Cleaning Contract CN012 Cleaning Services - 8/05/23 - 14/05/23	1 1	 \$ 1,892.00	-\$ 1,892.00
EFT16972 4/2023	18/05/2023 11/05/2023	Marie's Maintenance Marie's Maintenance	Tree pruning at 11 Young Ave, Kondinin Tree pruning at 11 Young Ave, Kondinin	1 1	 \$ 300.00	-\$ 300.00
EFT16973 WA23EDUC AR	18/05/2023 08/05/2023	Austalian Association of Practice Management Austalian Association of Practice Management	Member registration 2023 Member registration 2023	1 1	 \$ 295.00	-\$ 295.00
EFT16974 26929	18/05/2023 08/05/2023	Enviro Pipes Pty Ltd Enviro Pipes Pty Ltd	PO 25639 Corrugated pipe , o rings and rubber seal	1 1	 \$ 21,829.90	-\$ 21,829.90
EFT16975 93	19/05/2023 16/05/2023	WE WILL DO CLEANING SERVICE WE WILL DO CLEANING SERVICE	Cleaning Contract CN011 Cleaning Services - 8/05/23 - 14/05/23	1 1	 \$ 2,007.50	-\$ 2,007.50
EFT16976 491 5073 342	23/05/2023 05/05/2023	Telstra Limited Telstra Limited	TIM & and Dongals Telstra Intergrated Messageing & Council	1 1	 \$ 350.21	-\$ 350.21
EFT16977 DEDUCTION	23/05/2023 21/05/2023	Kondinin Social Club Kondinin Social Club	Payroll deductions Payroll deductions	1 1	 \$ 70.00	-\$ 70.00
EFT16978 DEDUCTION	23/05/2023 21/05/2023	Australian Services Union Australian Services Union	Payroll deductions Payroll deductions	1 1	 \$ 51.80	-\$ 51.80
EFT16979 DEDUCTION	23/05/2023 21/05/2023	KONDININ IGA XPRESS KONDININ IGA XPRESS	Payroll deductions Payroll deductions	1 1	 \$ 100.00	-\$ 100.00
EFT16980 DEDUCTION	23/05/2023 21/05/2023	Kondinin Trust Fund Kondinin Trust Fund	Payroll deductions Payroll deductions	1 1	 \$ 1,230.00	-\$ 1,230.00
EFT16981 DEDUCTION	23/05/2023 21/05/2023	Child Support Agency Child Support Agency	Payroll deductions Payroll deductions	1 1	 \$ 648.19	-\$ 648.19
EFT16982 6801	23/05/2023 22/05/2023	A & M Nelson A & M Nelson	PO 25645 Parts for repair of bus	1 1	 \$ 5,635.42	-\$ 5,635.42
EFT16983 351	25/05/2023 10/05/2023	OFFICE OF REGIONAL ARCHITECTURE OFFICE OF REGIONAL ARCHITECTURE	Concept Plans for Kondinin Pavilion Concept Plans for Kondinin Pavilion	1 1	 \$ 1,650.00	-\$ 1,650.00
EFT16984 4053	25/05/2023 19/05/2023	WILLWAY PLUMBING WILLWAY PLUMBING	Plumbing Works Plumbing maintenance at 28 Repacholi Parade, Kondinin	1 1	 \$ 264.00	-\$ 1,887.98
4052	23/05/2023	WILLWAY PLUMBING	Plumbing maintenance at 94 Graham Street, kondinin	1	\$ 1,017.33	
4054	23/05/2023	WILLWAY PLUMBING	Plumbing maintenance at 76 graham street, kondinin	1	\$ 606.65	
EFT16985 1517	25/05/2023 17/05/2023	Hyden Steel Fabricators Hyden Steel Fabricators	PO 25630 Fix Truck guard base	1 1	 \$ 728.48	-\$ 728.48
EFT16986 0581-	25/05/2023 21/05/2023	Team Global Express Pty Team Global Express Pty	Wetrac Wetrac, Dept of Water	1 1	 \$ 100.62	-\$ 100.62
EFT16987 17262	25/05/2023 17/05/2023	Corrigin Shire Council Corrigin Shire Council	Roe EHO April EHO Services	1 1	 \$ 6,470.20	-\$ 6,470.20
EFT16988 844	25/05/2023 21/05/2023	Kondinin Building Service - Building Dept Kondinin Building Service - Building Dept	PO 25636 500kg bags of cement x14	1 1	 \$ 3,834.60	-\$ 3,834.60
EFT16989 62592	25/05/2023 17/05/2023	KONDININ MEDICAL CENTRE KONDININ MEDICAL CENTRE	Medical Declan Jones Pre Employment Medical Declan Jones	1 1	 \$ 165.00	-\$ 165.00
EFT16990 1214778000	25/05/2023 24/05/2023	Telstra Limited Telstra Limited	PHONE & INTERNET USAGE PHONE & INTERNET USAGE - HYDEN AND KONDININ	1 1	 \$ 2,098.59	-\$ 3,006.44
2955043969	24/05/2023	Telstra Limited	WAVE ROCK TICKET MACHINE DATA PLAN 0409 425 790, SECURITY CAMERA's DATA PLAN, MOBILE PHONES	1	\$ 907.85	

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Chq/EFT/ INV	Date	Name	Description	Bank	Inv Amount	Paid Amount
EFT16991	25/05/2023	Department of Fire & Emergency Services	ESL Quater 4 22/23	1		-\$ 6,872.70
155606	21/05/2023	Department of Fire & Emergency Services	ESL Quater 4 22/23	1	\$ 6,872.70	
EFT16992	25/05/2023	Perfect Computer Solutions	IT Support	1		-\$ 722.50
28000	18/05/2023	Perfect Computer Solutions Pty Ltd	Reconnected AMC Surface Pro to set up looked into internet issues fixed adobe on records, Fixed internet for Hyden	1	\$ 722.50	
EFT16993	25/05/2023	Symbion Pharmacy Services Pty Ltd	May Purchases	1		-\$ 233.83
195672726	19/05/2023	Symbion Pharmacy Services Pty Ltd	May Purchases	1	\$ 233.83	
EFT16994	25/05/2023	HYDEN TRANSPORT	PO 25643	1		-\$ 1,604.46
770	02/05/2023	HYDEN TRANSPORT	Cartage of 57.20t of aggregate	1	\$ 1,604.46	
EFT16995	25/05/2023	Dr Alain Mackie T/A Weerakoon Pty Ltd	DOCTOR'S SERVICES - KONDININ MEDICAL PRACTICE April 2023	1		-\$ 17,820.00
940	22/05/2023	Dr Alain Mackie T/A Weerakoon Pty Ltd	DOCTOR'S SERVICES - KONDININ MEDICAL PRACTICE April 2023,	1	\$ 17,820.00	
EFT16996	25/05/2023	Hyden IGA	Ordinary Council Meeting Refreshments- May 2023	1		-\$ 38.35
134024	17/05/2023	Hyden IGA	Ordinary Council Meeting Refreshments- May 2023	1	\$ 38.35	
EFT16997	25/05/2023	ELGAS LIMITED	2x bottle 45kg	1		-\$ 341.44
1610936726	17/05/2023	ELGAS LIMITED	2x bottle 45kg kondinin caravan park	1	\$ 341.44	
EFT16998	25/05/2023	THE AG SHOP	PO 25696	1		-\$ 667.70
39338	04/05/2023	THE AG SHOP	Pump for fuel cell,	1	\$ 667.70	
EFT16999	25/05/2023	MARKETFORCE PTY LTD	Advertisement in West Australian- Differential Rates 2023/24	1		-\$ 914.78
40457	01/11/2022	MARKETFORCE PTY LTD	Early settlement Sep 22 (credit)	1	-\$ 65.70	
40457	01/11/2022	MARKETFORCE PTY LTD	Early Settlement Jan 23 (credit)	1	-\$ 79.40	
170748	31/05/2023	MARKETFORCE PTY LTD	Advertisement of Differential Rates- Narrogin	1	\$ 287.47	
170373	31/05/2023	MARKETFORCE PTY LTD	Advertisement in West Australian- Differential Rates 2023/24	1	\$ 772.41	
EFT17000	25/05/2023	PROMPT SAFETY	BI monthly OSH Meeting	1		-\$ 3,960.00
625	23/05/2023	PROMPT SAFETY	BI monthly OSH Meeting	1	\$ 3,960.00	
EFT17001	25/05/2023	SAFE ROADS WA	PO 25641	1		-\$ 15,900.50
51	08/05/2023	SAFE ROADS WA	Patch Work	1	\$ 15,900.50	
EFT17002	25/05/2023	ID Rent Pty Ltd	PO 24961	1		-\$ 4,207.50
9035	28/04/2023	ID Rent Pty Ltd	Multi tyre roller hire	1	\$ 4,207.50	
EFT17003	25/05/2023	WE WILL DO CLEANING	Cleaning Contract CN011	1		-\$ 2,090.00
94	23/05/2023	WE WILL DO CLEANING	Cleaning Services - 15/05/23 - 21/05/23	1	\$ 2,090.00	
EFT17004	25/05/2023	CIVIC LEGAL	Preparation of Lease Agreements for Kondinin and Hyden CRC's	1		-\$ 6,883.80
511011	28/02/2023	CIVIC LEGAL	Preparation of Lease Agreements for Kondinin and Hyden CRC's	1	\$ 4,419.80	
510998	28/02/2023	CIVIC LEGAL	Preparation of Lease Agreements for Kondinin and Hyden CRC's	1	\$ 646.80	
511294	19/05/2023	CIVIC LEGAL	New Lease Agreement for Lot 330 Clayton Street, Hyden (Whispering Gums)	1	\$ 1,817.20	
EFT17005	25/05/2023	WHEATBELT CLEAN	Cleaning Contract CN012	1		-\$ 1,914.00
16565	15/05/2023	WHEATBELT CLEAN	Cleaning Services - 15/05/23 - 21/05/23	1	\$ 1,914.00	
EFT17006	25/05/2023	Marie's Maintenance	Tree pruning around power lines at 28 Repacholi Parade, Kondinin	1		-\$ 500.00
6/2023	22/05/2023	Marie's Maintenance	Tree pruning around power lines at 28 Repacholi Parade, Kondinin	1	\$ 500.00	
EFT17007	25/05/2023	COMPLETE OFFICE SUPPLIES PTY LTD	Stationery order for required items	1		-\$ 402.41
12042632	15/05/2023	COMPLETE OFFICE SUPPLIES PTY LTD	Stationery order for required items	1	\$ 374.32	
12040803	15/05/2023	COMPLETE OFFICE SUPPLIES PTY LTD	Stationery order for required items	1	\$ 28.09	
EFT17008	25/05/2023	WM & CL GARDNER	PO 25606	1		-\$ 9,779.00
25	21/05/2023	WM & CL GARDNER	Hire of Water Cart, RRG Lovering Rd	1	\$ 1,848.00	
26	21/05/2023	WM & CL GARDNER	Hire of Water Truck, Hyden Norseman Rd	1	\$ 7,931.00	
EFT17009	25/05/2023	Kheldar Pty Ltd	Ordinary Council Meeting Refreshments- May 2023	1		-\$ 245.35
127998	17/05/2023	Kheldar Pty Ltd	Ordinary Council Meeting Refreshments- May 2023	1	\$ 245.35	
EFT17010	25/05/2023	Moray & Agnew	Moray & Agnew Contract and Procurement Local Government Officers Conference (Tory Young & Mark Burgess)	1		-\$ 330.00

List of Accounts Due & Submitted to Council 01/05/2023 to 31/05/2023

Chq/EFT/ INV	Date	Name	Description	Bank	Inv Amount	Paid Amount
6736060439	22/05/2023	Moray & Agnew	Moray & Agnew Contract and Procurement Local Government Officers Conference (Tory Young & Mark Burgess)	1	\$ 330.00	
19319	05/05/2023	Synergy	Service charges	1		-\$ 386.91
2081795420	01/05/2023	Synergy	Service charges	1	\$ 386.91	
19320	09/05/2023	Kondinin Shire	Payroll deductions	1		-\$ 750.00
DEDUCTION	07/05/2023	Kondinin Shire	Payroll deductions		\$ 750.00	
19321	18/05/2023	Hyden Tourist Development Company	COMMISSION - FEB - APR 2023	1		-\$ 4,772.91
FEB-APR 23	16/05/2023	Hyden Tourist Development Company	COMMISSION - FEB - APR 2023	1	\$ 4,772.91	
19322	18/05/2023	Synergy	KONDININ ELECTRICITY BILLS	1		-\$ 18,376.75
KONDININ E	15/05/2023	Synergy	KONDININ E	1	\$ 8,268.20	
HYDEN ELEC	15/05/2023	Synergy	HYDEN ELEC	1	\$ 3,773.16	
BORES &MISC	15/05/2023	Synergy	BORES &MISC	1	\$ 6,335.39	
19323	18/05/2023	Water Corporation	KONDININ WATER	1		-\$ 650.74
HYDEN/KARL	16/05/2023	Water Corporation	9007773170 - HYDEN HALL LYNCH ST SERVICE CHARGE & USAGE (kWh):	1	\$ 49.38	
L KONDININ	16/05/2023	Water Corporation	9007769796 - CARAVAN PARK GRAHAM STREET SERVICE CHARGE & USAGE (kWh):	1	\$ 601.36	
19324	23/05/2023	Kondinin Shire	Payroll deductions	1		-\$ 750.00
DEDUCTION	21/05/2023	Kondinin Shire	Payroll deductions		\$ 750.00	
19325	25/05/2023	Synergy	BORE ETC	1		-\$ 397.98
BORES &MISC	24/05/2023	Synergy	146 909 270 WESTS BORE SERVICE CHARGE & USAGE (kWh):	1	\$ 397.98	
19326	25/05/2023	Water Corporation	STANDPIPES INC HYDEN/KARLGARIN	1		-\$ 21,489.47
STANDPIPES	24/05/2023	Water Corporation	STANDPIPES	1	\$ 9,002.18	
HYDEN/KARL	24/05/2023	Water Corporation	HYDEN/KARL	1	\$ 5,156.45	
KONDININ	24/05/2023	Water Corporation	KONDININ	1	\$ 7,330.84	
DD19961.1	01/05/2023	Transport	HYDEN LICENSING	1		-\$ 298.75
HYL 1-5-23	01/05/2023	Transport	HYDEN LICENSING	1	\$ 298.75	
DD19963.1	02/05/2023	Transport	HYDEN LICENSING	1		-\$ 2,105.15
HYL EFT	02/05/2023	Transport	HYDEN LICENSING	1	\$ 2,105.15	
DD19973.1	04/05/2023	Transport	HYDEN LICENSING	1		-\$ 3,917.60
4/05/23 HYD	04/05/2023	Transport	HYDEN LICENSING	1	\$ 3,917.60	
DD19976.1	05/05/2023	Transport	HYDEN LICENSING	1		-\$ 533.90
5/05/23 HYD	05/05/2023	Transport	HYDEN LICENSING	1	\$ 533.90	
DD19984.1	08/05/2023	Transport	HYDEN LICENSING	1		-\$ 393.25
8/05/23 HYD	08/05/2023	Transport	HYDEN LICENSING	1	\$ 393.25	
DD19991.1	09/05/2023	Transport	HYDEN LICENSING	1		-\$ 219.80
9/05/23 HYD	09/05/2023	Transport	HYDEN LICENSING	1	\$ 219.80	
DD19996.1	10/05/2023	Transport	HYDEN LICENSING	1		-\$ 1,649.05
10/05/2023	10/05/2023	Transport	HYDEN LICENSING	1	\$ 1,649.05	
DD20003.1	11/05/2023	Transport	HYDEN LICENSING	1		-\$ 3,013.90
11/05/23 HYD	11/05/2023	Transport	HYDEN LICENSING	1	\$ 3,013.90	
DD20009.1	12/05/2023	Transport	HYDEN LICENSING	1		-\$ 239.40
12/05/23	12/05/2023	Transport	HYDEN LICENSING	1	\$ 239.40	
DD20017.1	17/05/2023	Transport	HYDEN LICENSING	1		-\$ 167.95
17/05/23 HYD	17/05/2023	Transport	HYDEN LICENSING	1	\$ 167.95	
DD20020.1	18/05/2023	Transport	HYDEN LICENSING	1		-\$ 498.80
18/05/23 HYD	18/05/2023	Transport	HYDEN LICENSING	1	\$ 498.80	
DD20037.1	24/05/2023	Transport	HYDEN LICENSING	1		-\$ 58.40
24/05/23 HYD	24/05/2023	Transport	HYDEN LICENSING	1	\$ 58.40	
DD20042.1	25/05/2023	Transport	HYDEN LICENSING	1		-\$ 1,462.40
25/05/23 HYD	25/05/2023	Transport	HYDEN LICENSING	1	\$ 1,462.40	
DD20049.1	29/05/2023	Transport	HYDEN LICENSING	1		-\$ 619.25
29/05/23 HYD	29/05/2023	Transport	HYDEN LICENSING	1	\$ 619.25	
DD19956.1	01/05/2023	Transport	Kondinin Licenisng	1		-\$ 11,023.35
KND	01/05/2023	Transport	Kondinin Licenisng	1	\$ 11,023.35	
DD19965.1	02/05/2023	Transport	Kondinin Licensing	1		-\$ 289.20
KND	02/05/2023	Transport	Kondinin Licenisng	1	\$ 289.20	
DD19971.1	04/05/2023	Transport	Kondinin Licensing	1		-\$ 507.25
KNDLIC4/5/2	04/05/2023	Transport	Kondinin Licensing	1	\$ 507.25	
DD19978.1	05/05/2023	Transport	Kondinin Licenisng	1		-\$ 861.20
KND	05/05/2023	Transport	Kondinin Licensing	1	\$ 861.20	
DD19982.1	08/05/2023	Transport	Kondinin Licensing	1		-\$ 43.05
KNDLIC8/5/2	08/05/2023	Transport	Kondinin Licensing	1	\$ 43.05	
DD19994.1	10/05/2023	Transport	Kondinin Licensing	1		-\$ 210.35

List of Accounts Due & Submitted to Council 01/05/2023 to 31/05/2023

Chq/EFT/ INV	Date	Name	Description	Bank	Inv Amount	Paid Amount
KND	10/05/2023	Transport	Kondinin Licensing	1	\$ 210.35	
DD19998.1	10/05/2023	Transport	Kondinin Licensing	1		-\$ 45.00
KND	10/05/2023	Transport	Kondinin Licensing	1	\$ 45.00	
DD20000.1	10/05/2023	Transport	Kondinin Licensing	1	\$ 0.50	
LICENSING	10/05/2023	Transport	Kondinin Licensing	1		-\$ 0.50
DD20005.1	11/05/2023	Transport	Kondinin Licensing	1		-\$ 347.15
KND	11/05/2023	Transport	Kondinin Licensing	1	\$ 347.15	
DD20007.1	12/05/2023	Transport	Kondinin Licensing	1		-\$ 32.70
KND	12/05/2023	Transport	Kondinin Licensing	1	\$ 32.70	
DD20022.1	18/05/2023	Transport	Kondinin Licensing	1		-\$ 228.60
KND	18/05/2023	Transport	Kondinin Licensing	1	\$ 228.60	
DD20039.1	24/05/2023	Transport	Kondinin Licensing	1		-\$ 470.00
KMD	24/05/2023	Transport	Kondinin Licensing	1	\$ 470.00	
DD20044.1	25/05/2023	Transport	Kondinin Licensing	1		-\$ 974.45
KND	25/05/2023	Transport	Kondinin Licensing	1	\$ 974.45	
DD20051.1	29/05/2023	Transport	Kondinin Licensing	1		-\$ 2,038.40
KND	29/05/2023	Transport	Kondinin Licensing	1	\$ 2,038.40	
DD20053.1	30/05/2023	Transport	Kondinin Licensing	1		-\$ 473.55
KND	30/05/2023	Transport	Kondinin Licensing	1	\$ 473.55	
DD20057.1	31/05/2023	Transport	Kondinin Licensing	1		-\$ 471.00
KND31/5/202	31/05/2023	Transport	Kondinin Licensing	1	\$ 471.00	
DD19959.1	01/05/2023	Westnet Pty Ltd	Internet Services	1		-\$ 189.85
221162653 - APRIL 23	17/04/2023	Westnet Pty Ltd	konshire3 - Kondinin Depot internet service, konshire4 - Hyden Pool service, konshire5 - Hyden Doctor's Surgery	1	\$ 189.85	
DD19967.1	02/05/2023	Messages On Hold	MESSAGES ON HOLD FOR TELEPHONE SYSTEM - APRIL - JUNE 2023	1		-\$ 1,225.57
SHI0006 -	02/05/2023	Messages On Hold	MESSAGES ON HOLD FOR TELEPHONE	1	\$ 1,225.57	
DD19969.1	03/05/2023	National Australia Bank	Corporate credit card payments - April 2023	1		-\$ 898.29
CEO APR 23	03/05/2023	National Australia Bank	CEO's Credit Card Charges: Transport-Driver's License (Truck) Wbennell \$56.30, Monthly card fee \$9.00		\$ 65.30	
MCS APR 23	03/05/2023	National Australia Bank	MCS's Credit card charges: Kondinin Carvan Prk Bath Mat \$72.00, KN04 fuel \$471.62, Efax Service-Medical Centre \$11.33, Transport- Driver's License-Duckworth \$56.30, Monthly Card Fee \$9.00		\$ 620.25	
MOW APR 23	03/05/2023	National Australia Bank	MOW's Credit card charegs: Monthly card fee \$9.00		\$ 9.00	
MPA APR 23	03/05/2023	National Australia Bank	MPA's Credit card charges: Anzac Day Lanterns \$147.89, Transport-Driver's License Dwright \$46.85, Monthly Card Fee \$9.00	1	\$ 203.74	
DD19980.1	21/05/2023	Western Australian Treasury Corporation	Loan No. 131A Repayment - SSL KCRC Land Purchase	1		-\$ 5,582.54
131A	21/05/2023	Western Australian Treasury Corporation	Loan No. 131A Repayment - SSL KCRC Land Purchase	1	\$ 5,582.54	
DD19980.2	14/05/2023	Western Australian Treasury Corporation	Loan No. 134A Repayment - SSL - Hyden Progress Association	1		-\$ 17,508.19
134A	14/05/2023	Western Australian Treasury Corporation	Loan No. 134A Repayment - SSL - Hyden Progress Association	1	\$ 17,508.19	
DD19986.1	07/05/2023	WA Local Government Superannuation Plan	Payroll deductions	1		-\$ 7,949.13
SUPER	07/05/2023	WA Local Government Superannuation Plan	Superannuation contributions	1	\$ 6,646.00	
DEDUCTION	07/05/2023	WA Local Government Superannuation Plan	Payroll deductions	1	\$ 274.01	
DEDUCTION	07/05/2023	WA Local Government Superannuation Plan	Payroll deductions	1	\$ 20.00	
DEDUCTION	07/05/2023	WA Local Government Superannuation Plan	Payroll deductions	1	\$ 65.24	
DEDUCTION	07/05/2023	WA Local Government Superannuation Plan	Payroll deductions	1	\$ 409.05	
DEDUCTION	07/05/2023	WA Local Government Superannuation Plan	Payroll deductions	1	\$ 121.15	
DEDUCTION	07/05/2023	WA Local Government Superannuation Plan	Payroll deductions	1	\$ 200.00	
DEDUCTION	07/05/2023	WA Local Government Superannuation Plan	Payroll deductions	1	\$ 213.68	
DD19986.2	07/05/2023	Prime Super	Superannuation contributions	1		-\$ 398.84
DEDUCTION	07/05/2023	Prime Super	Payroll deductions	1	\$ 29.50	
SUPER	07/05/2023	Prime Super	Superannuation contributions	1	\$ 369.34	
DD19986.3	07/05/2023	YourChoice Super	Superannuation contributions	1		-\$ 115.76

List of Accounts Due & Submitted to Council 01/05/2023 to 31/05/2023

Chq/EFT/ INV	Date	Name	Description	Bank	Inv Amount	Paid Amount
SUPER	07/05/2023	YourChoice Super	Superannuation contributions	1	\$ 115.76	
DD19986.4	07/05/2023	Host Plus	Superannuation contributions	1		-\$ 576.20
SUPER	07/05/2023	Host Plus	Superannuation contributions	1	\$ 576.20	
DD19986.5	07/05/2023	REST Superannuation	Superannuation contributions	1		-\$ 104.42
SUPER	07/05/2023	REST Superannuation	Superannuation contributions	1	\$ 104.42	
DD19986.6	07/05/2023	Australian Super	Superannuation contributions	1		-\$ 1,025.60
SUPER	07/05/2023	Australian Super	Superannuation contributions	1	\$ 1,025.60	
DD19986.7	07/05/2023	MLC Nominees Pty Ltd	Superannuation contributions	1		-\$ 151.96
SUPER	07/05/2023	MLC Nominees Pty Ltd	Superannuation contributions	1	\$ 151.96	
DD19986.8	07/05/2023	MERCER SMART SUPER	Superannuation contributions	1		-\$ 79.44
SUPER	07/05/2023	MERCER SMART SUPER	Superannuation contributions	1	\$ 79.44	
DD19986.9	07/05/2023	cBus Super Administration	Superannuation contributions	1		-\$ 244.99
SUPER	07/05/2023	cBus Super Administration	Superannuation contributions	1	\$ 244.99	
DD19989.1	09/05/2023	Australian Taxation Office	FRINGE BENEFIT TAX RETURN 2023	1		-\$ 1,059.62
FBT - 2023	09/05/2023	Australian Taxation Office	FRINGE BENEFIT TAX RETURN 2023	1	\$ 1,059.62	
DD20012.1	15/05/2023	HotDoc ONLINE PTY LTD	MONTHLY ONLINE BOOKING FEE - MAY 2023	1		-\$ 178.20
INV-160794	01/05/2023	HotDoc ONLINE PTY LTD	MONTHLY ONLINE BOOKING FEE - MAY 2023	1	\$ 178.20	
DD20029.1	21/05/2023	WA Local Government	Payroll deductions	1		-\$ 8,161.91
SUPER	21/05/2023	WA Local Government	Superannuation contributions	1	\$ 6,856.18	
DEDUCTION	21/05/2023	WA Local Government	Payroll deductions	1	\$ 272.29	
DEDUCTION	21/05/2023	WA Local Government	Payroll deductions	1	\$ 20.00	
DEDUCTION	21/05/2023	WA Local Government	Payroll deductions	1	\$ 86.99	
DEDUCTION	21/05/2023	WA Local Government	Payroll deductions	1	\$ 391.62	
DEDUCTION	21/05/2023	WA Local Government	Payroll deductions	1	\$ 121.15	
DEDUCTION	21/05/2023	WA Local Government	Payroll deductions	1	\$ 200.00	
DEDUCTION	21/05/2023	WA Local Government	Payroll deductions	1	\$ 213.68	
DD20029.2	21/05/2023	Prime Super	Superannuation contributions	1		-\$ 450.86
DEDUCTION	21/05/2023	Prime Super	Payroll deductions	1	\$ 40.75	
SUPER	21/05/2023	Prime Super	Superannuation contributions	1	\$ 410.11	
DD20029.3	21/05/2023	YourChoice Super	Superannuation contributions	1		-\$ 198.45
SUPER	21/05/2023	YourChoice Super	Superannuation contributions	1	\$ 198.45	
DD20029.4	21/05/2023	Host Plus	Superannuation contributions	1		-\$ 538.51
SUPER	21/05/2023	Host Plus	Superannuation contributions	1	\$ 538.51	
DD20029.5	21/05/2023	Australian Super	Superannuation contributions	1		-\$ 1,007.89
SUPER	21/05/2023	Australian Super	Superannuation contributions	1	\$ 1,007.89	
DD20029.6	21/05/2023	MLC Nominees Pty Ltd	Superannuation contributions	1		-\$ 130.23
SUPER	21/05/2023	MLC Nominees Pty Ltd	Superannuation contributions	1	\$ 130.23	
DD20029.7	21/05/2023	MERCER SMART SUPER	Superannuation contributions	1		-\$ 79.44
SUPER	21/05/2023	MERCER SMART SUPER	Superannuation contributions	1	\$ 79.44	
DD20029.8	21/05/2023	cBus Super Administration	Superannuation contributions	1		-\$ 244.99
SUPER	21/05/2023	cBus Super Administration	Superannuation contributions	1	\$ 244.99	
DD20046.1	24/05/2023	Australia Post	POSTAGE - KONDININ, HYDEN & MEDICAL CENTRE	1		-\$ 261.04
1012389548	03/05/2023	Australia Post	POSTAGE - KONDININ, HYDEN & MEDICAL CENTRE	1	\$ 261.04	
DD19959.2	01/05/2023	BankWest	FDMSA FEE - 1704 - KONDININ EFTPOS	1		-\$ 971.62
1712 -	01/05/2023	BankWest	FDMSA FEE - 1712 - HYDEN EFTPOS	1	\$ 742.23	
1704 -	01/05/2023	BankWest	FDMSA FEE - 1704 - KONDININ EFTPOS	1	\$ 229.39	
DD20055.1	31/05/2023	BankWest	BANKWEST EFTPOS MERCHANT FEES	1		-\$ 282.02
MER FEE -	31/05/2023	BankWest	BANKWEST EFTPOS MERCHANT FEES	1	\$ 282.02	
DD19959.3	01/05/2023	TYRO	TYRO FEES - APRIL 2023	1		-\$ 126.36
APRIL 23	01/05/2023	TYRO	TYRO FEES - APRIL 2023	1	\$ 126.36	
DD20055.2	31/05/2023	National Australia Bank	ACCOUNT FEES AKF	1		-\$ 24.80
AKF MUNI -	31/05/2023	National Australia Bank	ACCOUNT FEES AKF - MUNICIPAL ACCOUNT	1	\$ 14.80	
AKF TRUST -	31/05/2023	National Australia Bank	ACCOUNT FEES AKF TRUST ACCOUNT	1	\$ 10.00	
PAY	09/04/2023	Payroll Direct	Payroll Direct Debit Of Net Pays	1		-\$ 57,747.04
PAY	09/04/2023	Payroll Direct	Payroll Direct Debit Of Net Pays	1	\$ 57,747.04	
PAY	21/05/2023	Payroll Direct	Payroll Direct Debit Of Net Pays	1		-\$ 59,122.21
PAY	21/05/2023	Payroll Direct	Payroll Direct Debit Of Net Pays	1	\$ 59,122.21	
Total						-\$ 906,777.03



SHIRE OF KONDININ

MONTHLY FINANCIAL REPORT

(Containing the required Statement of Financial Activity and Statement of Financial Position)
FOR THE PERIOD ENDED 31 MAY 2023

LOCAL GOVERNMENT ACT 1995

LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

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SHIRE OF KONDININ
STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2023

Note	Original Annual Budget	Amended Annual Budget	YTD Budget (a)	YTD Actual (b)	var. \$ (b)-(a)	var. % (b)-(a)/(a)	Var.
	\$	\$	\$	\$	\$	%	
OPERATING ACTIVITIES							
Revenue from operating activities							
Rates	3,448,040	3,448,040	3,448,040	3,458,326	10,286	0.30%	▲
Grants, subsidies and contributions	723,668	994,282	983,748	995,844	12,096	1%	▲
Fees and charges	640,900	646,870	592,551	767,647	175,096	30%	▲
Service charges	0	0	0	0	0		
Interest revenue	78,285	172,362	161,536	177,045	15,509	10%	▲
Other revenue	404,737	409,237	409,237	326,529	(82,708)	(20%)	▼
Profit on asset disposals	29,806	29,806	29,806	39,744	9,938	33%	
Fair value adjustments to financial assets at fair value through profit or loss	0	0	0	2,764	2,764		
Share of net profit of associates accounted for using the equity method	0	0	0	0	0		
	5,325,436	5,700,597	5,624,918	5,767,898			
Expenditure from operating activities							
Employee costs	(1,946,371)	(1,929,994)	(1,846,095)	(1,851,427)	(5,332)	(0%)	
Materials and contracts	(2,288,747)	(2,375,937)	(1,595,328)	(1,586,536)	8,792	1%	
Utility charges	(328,850)	(328,850)	(283,404)	(283,525)	(121)	(0%)	
Depreciation	(3,279,275)	(3,375,355)	(3,095,214)	(3,078,649)	16,565	1%	▼
Finance costs	(142,790)	(142,790)	(100,039)	(86,234)	13,805	14%	▼
Insurance	(233,923)	(268,604)	(268,607)	(265,734)	2,873	1%	
Other expenditure	(300,449)	(400,449)	(309,565)	(332,067)	(22,502)	(7%)	▼
Loss on asset disposals	(6,083)	(6,083)	(6,083)	0	6,083	100%	
	(8,526,488)	(8,828,062)	(7,504,336)	(7,484,172)			
Non-cash amounts excluded from operating activities	3,255,552	3,351,632	3,071,491	3,036,141	(35,350)	(1%)	▲
Amount attributable to operating activities	54,500	224,167	1,192,073	1,319,867			
INVESTING ACTIVITIES							
Inflows from investing activities							
Capital grants, subsidies and contributions	7,380,532	7,380,532	3,704,954	3,074,146	(630,808)	(17%)	▼
Proceeds from disposal of assets	349,000	349,000	346,000	54,668	(291,332)	(84%)	▼
Proceeds from financial assets at amortised cost - self-supporting loans					(1)		
	58,181	58,181	58,181	58,180		(0%)	
	7,787,713	7,787,713	4,109,135	3,186,994			
Outflows from investing activities							
Purchase of property, plant and equipment	(3,660,166)	(3,751,085)	(3,521,007)	(1,015,315)	2,505,692	71%	▲
Purchase and construction of infrastructure	(6,601,483)	(6,560,543)	(5,510,543)	(3,973,453)	1,537,089	28%	▲
Purchase of investment property	0	0	0	0	0		
	(10,261,649)	(10,311,628)	(9,031,550)	(4,988,768)			
Non-cash amounts excluded from investing activities	0	0	0	0	0		
Amount attributable to investing activities	(2,473,936)	(2,523,915)	(4,922,415)	(1,801,774)			
FINANCING ACTIVITIES							
Inflows from financing activities							
Proceeds from borrowings	0	0	0	0	0		
Transfer from reserve accounts	70,000	170,000	150,000	150,000	0	0%	
	70,000	170,000	150,000	150,000	0	0%	
Outflows from financing activities							
Repayment of borrowings	(204,188)	(401,250)	(401,250)	(401,250)	0	0.000%	
Transfer to reserve accounts	(597,129)	(795,129)	(675,835)	(675,835)	0	0%	
	(801,317)	(1,196,379)	(1,077,086)	(1,077,086)	0	0%	
Amount attributable to financing activities	(731,316)	(1,026,379)	(927,086)	(927,086)			
MOVEMENT IN SURPLUS OR DEFICIT							
Surplus or deficit at the start of the financial year	3,150,752	3,316,224	3,316,224	3,316,224	0	0.000%	
Amount attributable to operating activities	54,500	224,167	1,192,073	1,319,867	127,794	(10.720%)	▲
Amount attributable to investing activities	(2,473,936)	(2,523,915)	(4,922,415)	(1,801,774)	3,120,641	63.397%	▲
Amount attributable to financing activities	(731,316)	(1,026,379)	(927,086)	(927,086)	0	0.000%	
Surplus or deficit after imposition of general rates	0	(9,903)	(1,341,203)	1,907,231	3,248,435	(242%)	

This statement is to be read in conjunction with the accompanying Financial Statements and notes.

SHIRE OF KONDININ
STATEMENT OF FINANCIAL POSITION
FOR THE PERIOD ENDED 31 MAY 2023

NOTE	31 May 2023	30 June 2022
	\$	\$
CURRENT ASSETS		
Cash and cash equivalents	6,079,390	7,136,946
Trade and other receivables	502,968	314,167
Other financial assets	0	58,180
Inventories	25,500	22,213
Other assets	0	93,304
TOTAL CURRENT ASSETS	6,607,858	7,624,810
NON-CURRENT ASSETS		
Trade and other receivables	1,636	1,636
Other financial assets	218,128	215,363
Investment in associate	48,097	48,097
Property, plant and equipment	26,729,977	26,917,233
Infrastructure	136,054,948	133,970,729
TOTAL NON-CURRENT ASSETS	163,052,786	161,153,058
TOTAL ASSETS	169,660,644	168,777,868
CURRENT LIABILITIES		
Trade and other payables	665,998	557,152
Other liabilities	318,801	503,263
Borrowings	(197,063)	204,187
Employee related provisions	418,002	418,002
TOTAL CURRENT LIABILITIES	1,205,738	1,682,604
NON-CURRENT LIABILITIES		
Borrowings	2,513,375	2,513,375
Employee related provisions	68,904	68,904
TOTAL NON-CURRENT LIABILITIES	2,582,279	2,582,279
TOTAL LIABILITIES	3,788,017	4,264,882
NET ASSETS	165,872,627	164,512,986
EQUITY		
Retained surplus	30,360,252	29,526,446
Reserves accounts	3,297,827	2,771,992
Revaluation surplus	132,214,548	132,214,548
TOTAL EQUITY	165,872,627	164,512,986

This statement is to be read in conjunction with the accompanying notes.

SHIRE OF KONDININ
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2023

1 BASIS OF PREPARATION AND SIGNIFICANT ACCOUNTING POLICIES

BASIS OF PREPARATION

The financial report comprises general purpose financial statements which have been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

Local Government Act 1995 requirements

Section 6.4(2) of the *Local Government Act 1995* read with the *Local Government (Financial Management) Regulations 1996* prescribe that the financial report be prepared in accordance with the *Local Government Act 1995* and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied where no inconsistencies exist.

The *Local Government (Financial Management) Regulations 1996* specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the Shire to measure any vested improvements at zero cost. Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

THE LOCAL GOVERNMENT REPORTING ENTITY

All funds through which the Shire controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements.

Judgements and estimates

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors believed to be reasonable under the circumstances, the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

The balances, transactions and disclosures impacted by accounting estimates are as follows:

- * estimated fair value of certain financial assets
- * impairment of financial assets
- * estimation fair values of land and buildings, infrastructure and investment property
- * estimation of uncertainties made in relation to lease accounting
- * estimated useful life of intangible assets

SIGNIFICANT ACCOUNTING POLICIES

Significant accounting policies utilised in the preparation of these statements are as described within the 2022-23 Annual Budget. Please refer to the adopted budget document for details of these policies.

PREPARATION TIMING AND REVIEW

Date prepared. All known transactions up to 14 June 2023.

SHIRE OF KONDININ
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2023

2 STATEMENT OF FINANCIAL ACTIVITY INFORMATION

	30 June 2022 Carried Forward)	Last Year Closing 30 June 2022	Year to Date 31 May 2023
(a) Net current assets used in the Statement of Financial Activity	Note	\$	\$
Current Assets		\$	\$
Cash and cash equivalents		7,113,566	6,079,390
Trade and other receivables		314,167	502,968
Other financial assets		58,180	0
Inventories		22,213	25,500
Other assets		93,304	0
		<u>7,601,430</u>	<u>6,607,858</u>
Less: Current liabilities			
Trade and other payables		533,772	665,998
Other liabilities		503,263	318,801
Borrowings		204,187	(197,063)
Employee related provisions		418,002	418,002
		<u>1,659,223</u>	<u>1,205,738</u>
Net current assets		<u>5,942,208</u>	<u>5,402,121</u>
Less: Total adjustments to net current assets	2(c)	(2,625,985)	(3,494,890)
Closing funding surplus / (deficit)		<u>3,316,223</u>	<u>1,907,231</u>

(b) Non-cash amounts excluded from operating activities

The following non-cash revenue and expenditure have been excluded from amounts attributable to operating activities within the Statement of Financial Activity in accordance with *Financial Management Regulation 32*.

	Amended Budget	YTD Budget (a)	YTD Actual (b)
	\$	\$	\$
Adjustments to operating activities			
Less: Profit on asset disposals	(29,806)	(29,806)	(39,744)
Less: Fair value adjustments to financial assets at fair value	0	0	(2,764)
Less: Fair value adjustments to investment in associate	0	0	0
Movement in employee benefit provisions (non-current)	0	0	0
Movement in trade and other receivables	0	0	0
Add: Loss on disposal of assets	6,083	6,083	0
Add: Depreciation of assets	3,375,355	3,095,214	3,078,649
Non cash amounts excluded from operating activities	<u>3,351,632</u>	<u>3,071,492</u>	<u>3,036,141</u>

(c) Current assets and liabilities excluded from budget deficiency

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with *Financial Management Regulation 32* to agree to the surplus/(deficit) after imposition of general rates.

	30 June 2022 Carried Forward)	Last Year Closing 30 June 2022	Year to Date 31 May 2023
	\$	\$	\$
Adjustments to net current assets			
Less: Reserves - restricted cash	(2,771,992)	(2,771,992)	(3,297,827)
Less: Financial assets at amortised cost - self supporting loans	(58,180)	(58,180)	(0)
Add: Current portion of long-term borrowings	204,187	204,187	(197,063)
Add: Current portion of employee benefit provisions held in reserve	0	0	0
Total adjustments to net current assets	<u>(2,625,985)</u>	<u>(2,625,985)</u>	<u>(3,494,890)</u>

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated, assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Shire's operational cycle.

SHIRE OF KONDININ
STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2023

3 EXPLANATION OF MATERIAL VARIANCES

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date Actual materially.

the material variance adopted by Council for the 2022-23 year is \$10,000 and 10% whichever is the greater.

Description	Var. \$ \$	Var. % %	
Revenue from operating activities			
Rates	10,286	0.30%	▲
Higher to date rates revenue due to valuation increment in the interim.		Permanent	
Grants, subsidies and contributions	12,096	1%	▲
Fuel tax rebate higher by \$7,147 plus minor community grants received such as: mental Health week, Lotery West grant for Hyden 100.		Permanent	
Fees and charges	175,096	30%	▲
Higher Kondinin Caravan Park income and Wave Rock Precinct income and planning fees recived for wind farm.		Permanent	
Interest revenue	15,509	10%	▲
Penalty interest raised on rates higher than anticipated.		Permanent	
Other revenue	(82,708)	(20%)	▼
Lower medical centre income and private works income to date than anticipated		Timing	
Profit on asset disposals	9,938	33%	
Higher profit from trade in of 2 Toyotal Hi-lux.		Permanent	
Expenditure from operating activities			
Depreciation	16,565	1%	▼
Lower to date actual than estimate.		Timing	
Finance costs	13,805	14%	▼
Lower actual pending accrual of loan interest.		Timing	
Other expenditure	(22,502)	(7%)	▼
Higher Community contributions to date than anticipated.		Timing	
INVESTING ACTIVITIES			
Inflows from investing activities			
Capital grants, subsidies and contributions	(630,808)	(17%)	▼
Lower grants received due to delayed construction works on footpath and Hyden Swimming Pool building		Timing	
Proceeds from disposal of assets	(291,332)	(84%)	▼
Lower disposal proceeds due supply issue of vehicles (to be carried forward next financial year).		Timing	
Outflows from investing activities			
Purchase of property, plant and equipment	2,505,692	71%	▲
SHERP funding application for aged care housing unsuccessful (\$1,630,000), delayed supply of road plant and admin vehicles.	Permanent	Timing	
Purchase and construction of infrastructure	1,537,089	28%	▲
Lower construction costs for Hyden Norseman Rd (\$1,397,438), Hyden Retic System (\$150,000), footpath (\$55,376) and other Council funded roads.		Timing	

SHIRE OF KONDININ
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 MAY 2023

1 KEY INFORMATION

Overview

Key information - graphical progressive graphs are provided on Note 5.

Statement of Financial Activity

Is presented on page 2 and shows a surplus as at May 2023 of \$ 1,907,231

Items of Significance

The material variance adopted by the Shire of Kondinin for the 2022/23 year is \$10,000 or 10% whichever is the greater. A full listing and explanation of all items considered of material variance is disclosed in Note 3.

	%	Amended Annual Budget	YTD Budget	YTD Actual
Capital Projects	Completed			
Roadworks	58%	\$ 5,706,685	\$ 4,706,685	\$ 3,319,751
Plant and Equipment	24%	\$ 1,155,000	\$ 1,155,000	\$ 273,868
Land and Buildings	27%	\$ 2,560,113	\$ 2,330,035	\$ 699,760
Other Infrastructure	100%	\$ 853,858	\$ 803,858	\$ 653,703
Furniture and Equipment	116%	\$ 35,972	\$ 35,972	\$ 41,687
	<i>(Details on Note 8)</i>			
Grants, Subsidies and Contributions	Collected			
Operating Grants, Subsidies and Contributions	100%	\$ 994,282	\$ 983,748	\$ 995,844
Capital Grants, Subsidies and Contributions	42%	\$ 7,380,532	\$ 3,704,954	\$ 3,074,146
	<i>(Details on Notes 15 & 16)</i>	\$ 8,374,814	\$ 4,688,702	\$ 4,069,989
	Levied			
Rates <i>(% collected on Note 10)</i>	100.30%	\$ 3,448,040	\$ 3,448,040	\$ 3,458,326

% Compares current ytd actuals to annual budget

		Last Year 30 June 2022	Current Year 31 May 2023
Financial Position			
Adjusted Net Current Assets	91%	\$ 5,942,208	\$ 5,402,121
Cash and Equivalent - Unrestricted	64%	\$ 4,341,574	\$ 2,781,563
Cash and Equivalent - Restricted	119%	\$ 2,771,992	\$ 3,297,827
Receivables - Rates	155%	\$ 150,477	\$ 232,993
Receivables - Other	86%	\$ 315,175	\$ 269,975
Payables	63%	\$ 1,241,221	\$ 787,736
Current Ratio =	current assets minus restricted assets	7.80	2.76
	current liabilities minus liabilities associated with restricted assets		

Preparation

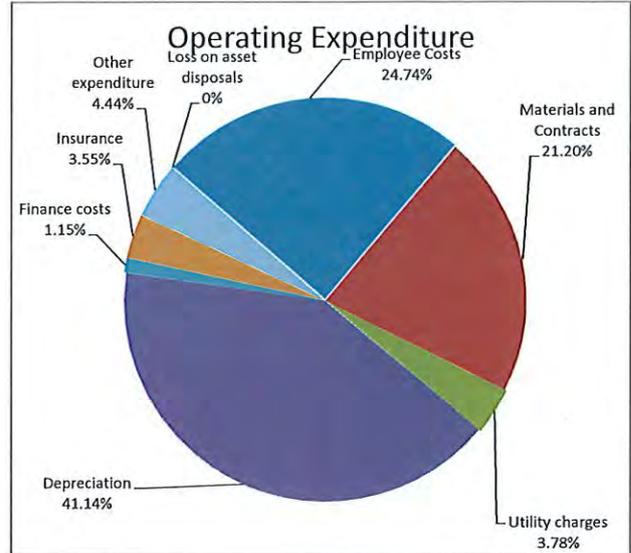
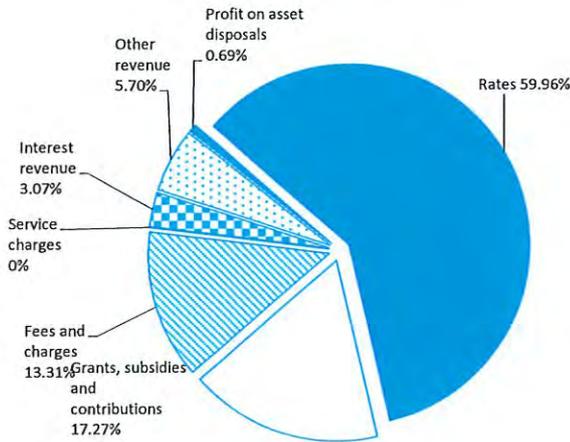
Prepared by: mcs

Reviewed by: ceo

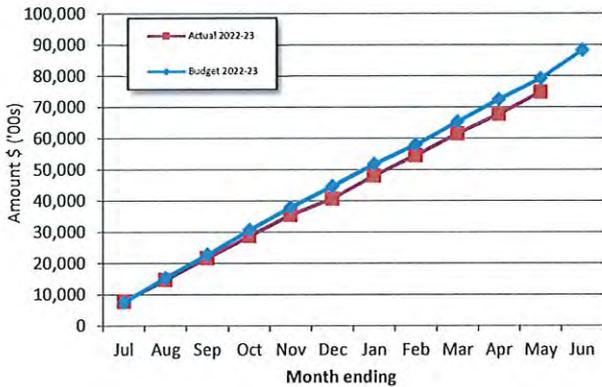
Date prepared: 14/06/2023

5. KEY INFORMATION - GRAPHICAL

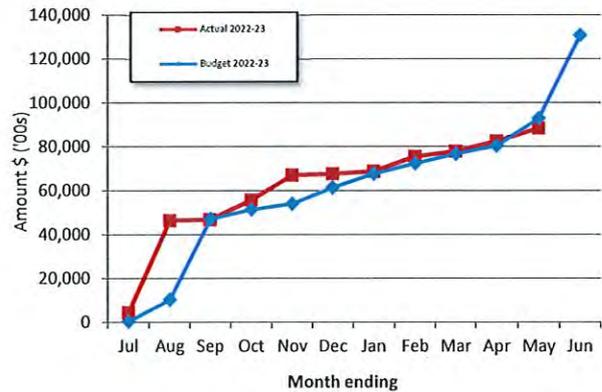
Operating Revenue



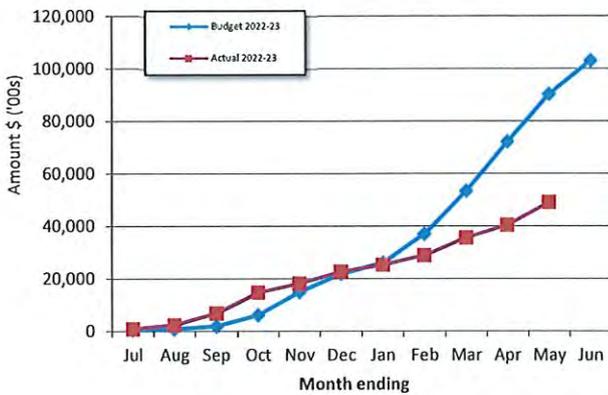
Budget Operating Expenses -v- YTD Actual



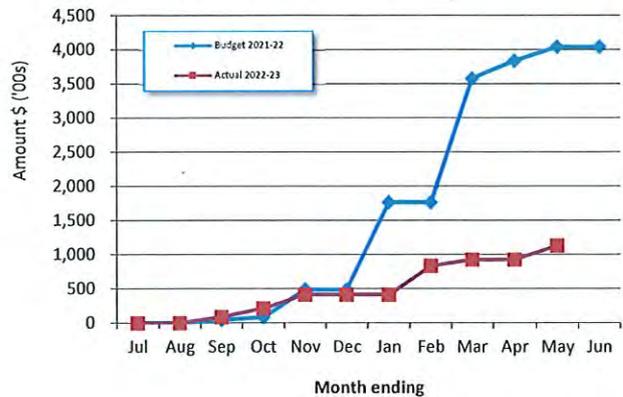
Budget Operating Revenues -v- YTD Actual



Budget Capital Expenses -v- Actual



Budget Capital Revenue -v- Actual



SHIRE OF KONDININ
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 MAY 2023

6 CASH AND FINANCIAL ASSETS

Description	Classification	Unrestricted \$	Restricted \$	Total Cash \$	Trust \$	Institution	Interest Rate	Maturity Date
(a) Cash Deposits								
Petty Cash & Float	Cash and cash equivalents	1,200	0	1,200		N/A	Nil	On Hand
Municipal Bank Account	Cash and cash equivalents	1,663,515	0	1,663,515		NAB	Variable	Cheque Acc
Overnight Cash Deposit Facility	Cash and cash equivalents	6,102	0	6,102		WATC	3.80%	At Call
Trust Bank Account	Cash and cash equivalents	0	0	0	20,510	NAB	Variable	Cheque Acc.
(b) Term Deposits								
SJA Capital Upgrade Reserve	Other financial assets	0	52,204	52,204		NAB	4.15%	13-Jun-23
Community Bus Reserve	Cash and cash equivalents	0	52,458	52,458		NAB	4.05%	04-May-23
Radio Reserve	Cash and cash equivalents	0	25,737	25,737		NAB	4.05%	04-May-23
Landfill Reserve	Other financial assets	0	36,928	36,928		NAB	4.20%	13-Jun-23
Hyden Recreation Centre Reserve	Other financial assets	0	293,304	293,304		NAB	4.30%	27-Jun-23
Hyden Visitor Centre Reserve	Other financial assets	0	458,866	458,866		NAB	4.30%	27-Jun-23
Medical Services Reserve	Other financial assets	0	79,792	79,792		NAB	4.25%	06-Jun-23
Water Infrastructure Reserve	Other financial assets	0	72,320	72,320		NAB	4.30%	13-Jun-23
Roads Reserve	Other financial assets	0	307,751	307,751		NAB	4.30%	13-Jun-23
Employee Liability Reserve	Other financial assets	0	425,149	425,149		NAB	4.35%	26-Jun-23
Housing Reserve	Cash and cash equivalents	0	503,000	503,000		NAB	4.05%	15-May-23
Plant Replacement Reserve	Cash and cash equivalents	0	783,063	783,063		NAB	4.19%	25-May-23
Tourism Development Reserve	Cash and cash equivalents	0	157,255	157,255		NAB	4.19%	25-May-23
Office Equipment Reserve	Other financial assets	0	50,000	50,000		NAB	3.94%	13-Jun-23
(c) Investments								
Term Deposit	Cash and cash equivalents	1,062,686	0	1,062,686		NAB	3.80%	13-Jun-23
Hyden LCDC Fund	Other financial assets	0	48,059	48,059		NAB	4.30%	27-Jun-23
Total		2,733,503	3,345,887	6,079,390	20,510			
Comprising								
Cash and cash equivalents		2,733,503	1,521,513	4,255,016	20,510			
Financial assets at amortised cost		0	1,824,374	1,824,374	0			
		2,733,503	3,345,887	6,079,390	20,510			

KEY INFORMATION

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value and bank overdrafts. Bank overdrafts are reported as short term borrowings in current liabilities in the statement of net current assets.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

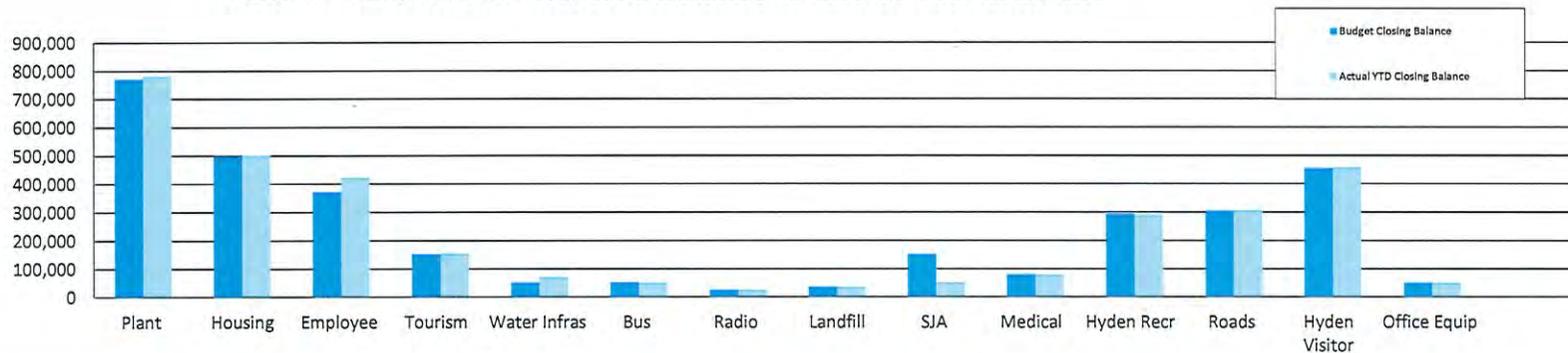
- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

SHIRE OF KONDININ
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 MAY 2023

7 RESERVE ACCOUNTS

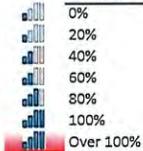
Reserve name	Budget Opening Balance	Budget Interest Earned	Amended Budget Interest Earned	Original Budget Transfers In (+)	Amended Budget Transfers In (+)	Original Budget Transfers Out (-)	Amended Budget Transfers Out (-)	Budget Closing Balance	Amended Budget Closing Balance	Actual Opening Balance	Actual Interest Earned	Actual Transfers In (+)	Actual Transfers Out (-)	Actual YTD Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Plant	658,334	13,496	24,729	100,000	100,000	0	0	771,829	783,063	658,334	24,729	100,000	0	783,063
Housing	388,958	7,974	14,042	100,000	100,000	0	0	496,931	503,000	388,958	14,042	100,000	0	503,000
Employee	365,689	7,497	13,129	0	50,000	0	0	373,186	428,818	365,689	9,460	50,000	0	425,149
Tourism	164,421	3,371	6,489	36,344	36,344	(50,000)	(50,000)	154,136	157,254	164,421	6,489	36,344	(50,000)	157,255
Water Infrass	70,624	1,448	2,320	0	0	(20,000)	(20,000)	52,072	52,944	70,624	1,696	0	0	72,320
Bus	50,942	1,044	1,517	0	0	0	0	51,986	52,459	50,942	1,517	0	0	52,458
Radio	24,993	512	744	0	0	0	0	25,505	25,737	24,993	744	0	0	25,737
Landfill	31,217	640	1,136	5,000	5,000	0	0	36,857	37,353	31,217	711	5,000	0	36,928
SJA	100,430	2,059	2,848	50,000	50,000	0	(100,000)	152,489	53,278	100,430	1,773	50,000	(100,000)	52,204
Medical	78,079	1,601	2,402	0	0	0	0	79,679	80,481	78,079	1,713	0	0	79,792
Hyden Recr	287,281	5,889	10,144	0	100,000	0	0	293,170	397,425	287,281	6,023	0	0	293,304
Roads	300,775	4,100	9,633	0	0	0	0	304,875	310,408	300,775	6,977	0	0	307,751
Hyden Visitor	250,249	5,130	13,189	200,000	200,000	0	0	455,379	463,438	250,249	8,617	200,000	0	458,866
Office Equip	0	1,025	1,463	50,000	50,000	0	0	51,025	51,463	0	0	50,000	0	50,000
	2,771,992	55,785	103,785	541,344	691,344	(70,000)	(170,000)	3,299,121	3,397,121	2,771,992	84,491	591,344	(150,000)	3,297,827

Note 7 - Year To Date Reserve Balance to End of Year Estimate



8 CAPITAL ACQUISITIONS

Level of Completion Indicators

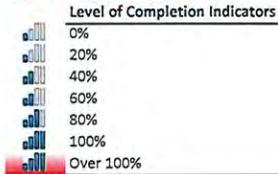


Percentage Year to Date Actual to Budget expenditure where the expenditure over budget highlighted in red.

Level of completion indicator, please see table at the end of this note for further detail.

%	Assets	Account	Original Budget	Amended Budget	YTD Budget	YTD Actual	YTD Variance	Source of Funding				Total
								Grants & Contributions	Cash Backed Reserves	Sale of Assets	Council Contribution & Loans	
			\$	\$	\$	\$	\$					
	Land and Buildings											
	Housing											
0.88	Close Circuit TVs (CCTVs) - LRCI Round3	04281	110,000	110,000	110,000	96,901	13,099	110,000	-	-	-	110,000
0.00	SHERP Aged Care Housing (x4) units	08481	1,630,078	1,630,078	1,500,000	0	1,500,000	1,630,078	-	-	-	1,630,078
0.00	Bathroom upgrade No. 51 Jones Street, Kond	09181	20,000	20,000	20,000	0	20,000	-	-	-	20,000	20,000
0.80	Land blocks purchase (incl demolition costs)	09181	40,000	40,000	40,000	31,804	8,196	-	-	-	40,000	40,000
	Housing Total		1,800,078	1,800,078	1,670,000	128,705	1,541,295	1,740,078	0	0	60,000	1,800,078
	Public Facilities/Halls											
1.06	Hyden S/Pool Building upgrade - LRCI 3	11281	520,468	602,035	502,035	553,370	(51,335)	520,468	-	-	81,567	602,035
0.00	Dog pound Upgrade	12181	8,000	8,000	8,000	0	8,000	-	-	-	8,000	8,000
	Public Halls Total		528,468	610,035	510,035	553,370	(43,335)	520,468	0	0	89,567	610,035
	Recreation And Culture											
0.12	Hyden Tennis Club Building Re-roofing (HTC)	11381	150,000	150,000	150,000	17,685	132,315	150,000	-	-	-	150,000
	Recreation And Culture Total		150,000	150,000	150,000	17,685	132,315	150,000	0	0	0	150,000
0.28	Land and Buildings Total		2,478,546	2,560,113	2,330,035	699,760	1,630,275	2,410,546	0	0	149,567	2,560,113
	Furniture & Office Equip.											
	Governance											
0.88	BenQ Interactive Flat Panel	04282	8,000	8,000	8,000	7,040	960	-	-	-	8,000	8,000
	Governance Total		8,000	8,000	8,000	7,040	960	0	0	0	8,000	8,000
	Housing											
0.94	Aircon - No. 6 Hinck Street, Kondinin	09182	18,620	18,620	18,620	17,550	1,070	-	-	-	18,620	18,620
	Governance Total		18,620	18,620	18,620	17,550	1,070	0	0	0	18,620	18,620
	Tourism & Area Promo											
1.00	Play Equipment - Community Garden	13182	0	0	0	7,745	(7,745)	-	-	-	-	-
1.00	Outdoor Seats - Hyden	13282	0	9,352	9,352	9,352	0	-	-	-	9,352	9,352
	Tourism & Area Promo Total		0	9,352	9,352	17,097	(7,745)	0	0	0	9,352	9,352
1.57	Furniture & Office Equip. Total		26,620	35,972	35,972	41,687	(5,715)	0	0	0	35,972	35,972

8 CAPITAL ACQUISITIONS

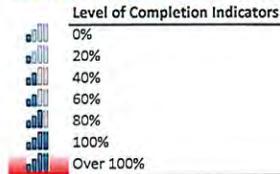


Percentage Year to Date Actual to Budget expenditure where the expenditure over budget highlighted in red.

Level of completion indicator, please see table at the end of this note for further detail.

%	Assets	Account	Original Budget	Amended Budget	YTD Budget	YTD Actual	YTD Variance	Source of Funding				Total
								Grants & Contributions	Cash Backed Reserves	Sale of Assets	Council Contribution & Loans	
Plant , Equip. & Vehicles												
Governance												
0.00	Toyota Prado (0KN) replacement	04283	60,000	60,000	60,000	0	60,000	-	-	54,000	6,000	60,000
0.00	Subaru Outback (KN04) replacement	04283	38,000	38,000	38,000	0	38,000	-	-	26,000	12,000	38,000
0.00	Subaru Outback (KN54) replacement	04283	38,000	38,000	38,000	0	38,000	-	-	26,000	12,000	38,000
	Governance Total		136,000	136,000	136,000	0	136,000	0	0	106,000	30,000	136,000
Health												
0.00	Subaru Outback (KN52) replacement	07783	38,000	38,000	38,000	0	38,000	-	-	26,000	12,000	38,000
	Health Total		38,000	38,000	38,000	0	38,000	0	0	26,000	12,000	38,000
Community Amenities												
1.10	Bin Enclosures - LRCI Round 3	10183	91,000	91,000	91,000	100,286	(9,286)	91,000	-	-	-	91,000
	Parks and Gardens Total		91,000	91,000	91,000	100,286	202,714	91,000	0	0	0	91,000
Parks and Gardens												
0.21	Hot Water system (Karlgin Oval Pavilion)	11383	15,000	15,000	15,000	3,159	11,842	-	-	21,000	6,000	15,000
1.30	Ride On Lawn Mower	11383	35,000	35,000	35,000	45,500	(10,500)	-	-	21,000	14,000	35,000
	Parks and Gardens Total		50,000	50,000	50,000	48,659	232,769	0	0	42,000	8,000	50,000
Transport												
0.00	Prime Mover (KN62) replacement	12383	300,000	300,000	300,000	0	300,000	-	-	60,000	240,000	300,000
0.00	Prime Mover (KN77) replacement	12383	300,000	300,000	300,000	0	300,000	-	-	60,000	240,000	300,000
0.91	Toyota Hilux (KN55) replacement	12383	30,000	30,000	30,000	27,168	2,832	-	-	10,000	20,000	30,000
	Toyota Hilux (KN61) replacement	12383	30,000	30,000	30,000	27,168	2,832	-	-	10,000	20,000	30,000
	Side Tipper (KN2418) replacement	12383	100,000	100,000	100,000	0	100,000	-	-	20,000	80,000	100,000
	Transport Total		760,000	760,000	760,000	54,337	705,663	0	0	160,000	600,000	760,000
Other Economic Services												
3.53	Submersible Pump	13683	20,000	20,000	20,000	70,586	(50,586)	-	20,000	-	-	20,000
	Other Economic Services Total		20,000	20,000	20,000	70,586	(50,586)	0	20,000	0	0	20,000
Other Prop & Services												
0.00	Toyota Prado (KN0) replacement	14283	60,000	60,000	60,000	0	60,000	-	-	54,000	6,000	60,000
	Other Prop & Services Total		60,000	60,000	60,000	0	60,000	0	0	54,000	6,000	60,000
0.24	Plant , Equip. & Vehicles Total		1,155,000	1,155,000	1,155,000	273,868	1,324,559	91,000	20,000	388,000	656,000	1,155,000

8 CAPITAL ACQUISITIONS

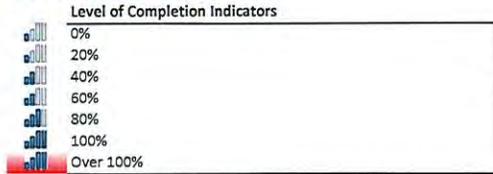


Percentage Year to Date Actual to Budget expenditure where the expenditure over budget highlighted in red.

Level of completion indicator, please see table at the end of this note for further detail.

%	Assets	Account	Original Budget	Amended Budget	YTD Budget	YTD Actual	YTD Variance	Source of Funding				Total
								Grants & Contributions	Cash Backed Reserves	Sale of Assets	Council Contribution & Loans	
Roads (Construction/Resheeting)												
Transport												
1.00	Kondinin Lake Road - RCC003	12100	0	9,643	9,643	10,299	(656)	-	-	-	-	-
0.86	Notting-Karlgarin Road - RCC006	12100	49,755	49,755	49,755	42,976	6,779	-	-	-	49,755	49,755
0.77	Sloan Road - RCC012	12100	65,820	65,820	65,820	50,881	14,939	-	-	-	65,820	65,820
0.93	Kulin Rock Road - RCC016	12100	37,505	37,505	37,505	34,897	2,608	-	-	-	37,505	37,505
0.92	Billericay East Road - RCC020	12100	102,495	102,495	102,495	94,418	8,077	-	-	-	102,495	102,495
0.00	Reservoir East Road - RCC045	12100	48,275	48,275	48,275	0	48,275	-	-	-	48,275	48,275
1.00	Modesty Rocks East Road - RCC088	12100	0	30,984	30,984	30,984	(0)	-	-	-	-	-
1.01	Lovering Road - RRG004	12110	586,211	586,211	586,211	591,351	(5,140)	390,807	-	-	195,404	586,211
1.01	Tolland Road - R2R011	12130	119,513	119,513	119,513	120,799	(1,286)	119,513	-	-	-	119,513
1.00	Hyden Norseman Road - R2R032 - withdrawn	12130	0	0	0	0	0	-	-	-	-	-
1.18	Pederah West Road - R2R0137	12130	386,904	386,904	386,904	457,376	(70,472)	386,904	-	-	-	386,904
0.04	Hyden Norseman Road - RRP032	12140	2,500,000	2,500,000	1,500,000	102,562	1,397,438	2,000,000	-	-	500,000	2,500,000
1.01	Kondinin Narembeen Road - SRF146	12150	1,769,580	1,769,580	1,769,580	1,783,208	(13,628)	1,651,550	-	-	118,030	1,769,580
Transport Total			5,666,058	5,706,685	4,706,685	3,319,751	1,386,934	4,548,774	0	0	1,117,284	5,666,058
0.59	Roadworks Total		5,666,058	5,706,685	4,706,685	3,319,751	1,386,934	4,548,774	0	0	1,117,284	5,666,058
Public Facilities / Other Infrastructure												
Other Sports & Recreation												
1.00	Hyden Tennis Court (HYTC)	11385	280,425	280,425	280,425	280,743	(318)	140,212	-	-	140,213	280,425
Other Sports & Recreation Total			280,425	280,425	280,425	280,743	(318)	140,212	0	0	140,213	280,425
Parks & Gardens												
0.53	Hyden Swimming Pool Carpark - LRCI 2&3	11284	175,000	93,433	93,433	93,433	(0)	93,433	-	-	-	93,433
0.00	Hyden Reticulation System	11387	150,000	150,000	150,000	0	150,000	-	-	-	150,000	150,000
Parks & Gardens Total			325,000	243,433	243,433	93,433	150,000	93,433	0	0	150,000	243,433

8 CAPITAL ACQUISITIONS



Percentage Year to Date Actual to Budget expenditure where the expenditure over budget highlighted in red.

Level of completion indicator, please see table at the end of this note for further detail.

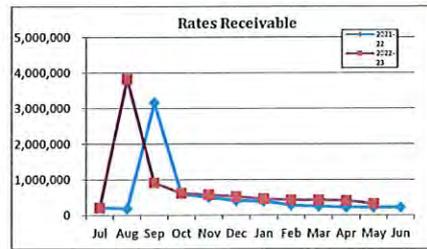
%	Assets	Account	Original Budget	Amended Budget	YTD Budget	YTD Actual	YTD Variance	Source of Funding				
								Grants & Contributions	Cash Backed Reserves	Sale of Assets	Council Contribution & Loans	Total
Transport & Depot												
0.72	Footpaths (Shared Pathways - DOT))	12175	200,000	200,000	200,000	144,624	55,376	100,000	-		100,000	200,000
	Parks & Gardens Total		200,000	200,000	200,000	144,624	55,376	100,000	0	0	100,000	200,000
Economic Services												
0.79	Wave Rock Tourist Precinct Improvement - WRTF	13283	50,000	50,000	0	39,650	(39,650)	-	50,000		-	50,000
1.02	Hyden Entry Signs (ESH01)	13284	80,000	80,000	80,000	81,453	(1,453)	-	-		80,000	80,000
1.00	Humps Water Tank (DWER Grant funded)	13685	0	0	0	13,800	(13,800)	-	-		-	-
	Economic Services Total		130,000	130,000	80,000	134,903	(54,903)	0	50,000	0	80,000	130,000
0.69	Public Facilities Total		735,425	653,858	603,858	509,079	94,779	233,645	50,000	0	370,213	653,858
0.49	Capital Expenditure Total		10,261,649	10,311,628	9,031,550	4,988,768	4,486,209	7,383,965	70,000	388,000	2,429,036	10,271,001
								Source of Funding				
Summary Acquisitions			Annual Budget	Amended Budget	YTD Budget	YTD Actual	YTD Variance	Grants	Cash Backed Reserves	Sale of Assets	Council Contribution - Operations	Total
Property, Plant and Equipment												
0.28	Land and Buildings		2,478,546	2,560,113	2,330,035	699,760	1,630,275	2,410,546	0	0	149,567	2,560,113
1.57	Furniture and Equipment		26,620	35,972	35,972	41,687	(5,715)	0	0	0	35,972	35,972
0.24	Plant and Equipment		1,155,000	1,155,000	1,155,000	273,868	1,324,559	91,000	20,000	388,000	656,000	1,155,000
Infrastructure												
0.59	Roadworks		5,666,058	5,706,685	4,706,685	3,319,750.68	1,386,934	4,548,774	0	0	1,117,284	5,666,058
0.72	Footpaths		200,000	200,000	200,000	144,624	55,376	100,000	0	0	100,000	200,000
0.69	Other Infrastructure		735,425	653,858	603,858	509,079	94,779	233,645	50,000	0	370,213	653,858
	Capital Expenditure Total		10,261,649	10,311,628	9,031,550	4,988,768	4,486,209	7,383,965	70,000	388,000	2,429,036	10,271,001

9 DISPOSAL OF ASSETS

Asset Number	Asset Description	Budget				Actual			
		net book Value	Proceeds	Profit	(loss)	net book Value	Proceeds	Profit	(loss)
PLANT & EQUIPMENT									
<i>Governance</i>									
21011	Toyota Prado (OKN)	47,377	54,000	6,623	0	0	0	0	0
22006	Subaru Outback (KN04)	26,591	26,000	0	(591)	0	0	0	0
22007	Subaru Outback (KN54)	26,591	26,000	0	(591)	0	0	0	0
<i>Other Health</i>									
20004	Subaru Forester (KN52)	26,591	26,000	0	(591)	0	0	0	0
<i>Parks & Gardens</i>									
420	Grandmaster 4500D Mower	7,310	3,000	0	(4,310)	0	12,850	12,850	0
<i>Road Plant</i>									
21062	Prime Mover (KN62)	53,424	60,000	6,576	0	0	0	0	0
21077	Prime Mover (KN77)	53,424	60,000	6,576	0	0	0	0	0
18004	Toyota Hilux (KN55) - Grader Serv KN	9,795	10,000	205	0	7,462	20,909	13,447	0
18005	Toyota Hilux (KN61) - Grader Serv HY	9,795	10,000	205	0	7,462	20,909	13,447	0
161704	Side Tipper (KN2418)	17,480	20,000	2,520	0			0	0
<i>Other Property & Services</i>									
21010	Toyota Prado (KN0)	46,899	54,000	7,101				0	0
		325,277	349,000	29,808	(6,083)	14,925	54,668	39,744	0
<u>Summary</u>				BUDGET				ACTUAL	
				2022/2023				2022/2023	
Profit on Asset Disposals				29,808				39,744	
Loss on Asset Disposals				(6,083)				0	
				23,725				39,744	

10 RECEIVABLES

Rates receivable	Current	30-Jun-22
Rates receivable	\$	\$
Opening Arrears Previous Years	202,441	210,632
Rates Levied this year	3,589,296	3,483,522
Less Collections to date	(3,538,034)	(3,491,713)
Equals Current Outstanding	253,702	202,441
Net Rates Collectable	253,702	202,441
% Collected	93%	95%



Receivables - General	Credit	Current	30 Days	60 Days	90+ Days	Total
Receivables-general	\$ (497)	\$ 112,877	\$ 0	\$ 2,056	\$ 14,199	128,635
Percentage	-0.39%	88%	0%	2%	11%	
Balance per Trial Balance						
Sundry receivables						128,635
GST receivable						103,299
Allowance for impairment of receivables from contract with customers						(7,650)
Total Receivables General Outstanding						224,285
Amounts shown above include GST (where applicable)						

KEY INFORMATION

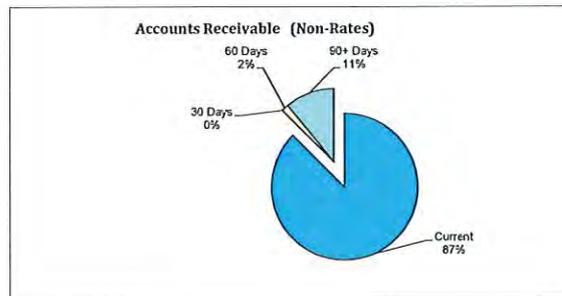
Trade and other receivables include amounts due from ratepayers for unpaid rates and other amounts due from third parties for goods sold and services performed in the ordinary course of business.

Trade receivables are recognised at original invoice amount less any allowance for uncollectible amounts (i.e. impairment). The carrying amount of net trade receivables is equivalent to fair value as it is due for settlement within 30 days.

Classification and subsequent measurement

Receivables which are generally due for settlement within 30 days except rates receivables which are expected to be collected within 12 months are classified as current assets. All other receivables such as, deferred pensioner rates receivable after the end of the reporting period are classified as non-current assets.

Trade and other receivables are held with the objective to collect the contractual cashflows and therefore the Shire measures them subsequently at amortised cost using the effective interest rate method.



SHIRE OF KONDININ
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 MAY 2023

11 OTHER CURRENT ASSETS

	Opening Balance 1 July 2022	Asset Increase	Asset Reduction	Closing Balance 31 May 2023
	\$	\$	\$	\$
Other current assets				
Other financial assets at amortised cost				
Financial assets at amortised cost - self supporting loans	58,180	0	(58,180)	0
Inventory				
Fuel	22,213	362,994	(359,707)	25,500
Contract assets				
Contract assets	92,791	0	(92,791)	0
Total other current assets	173,184	362,994	(510,678)	25,500

Amounts shown above include GST (where applicable)

KEY INFORMATION

Other financial assets at amortised cost

The Shire classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objectives is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely ayments of principal and interest.

Inventory

Inventories are measured at the lower of cost and net realisable value.

Net realisable value is the estimated selling price in the ordinary course of business less the estimated cost of completion and the estimated costs necessary to make the sale.

Contract assets

A contract asset is the right to consideration in exchange for goods or services the entity has traansferred to a customer when that right is conditioned on something ther than the passage of time.

SHIRE OF KONDININ
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 MAY 2023

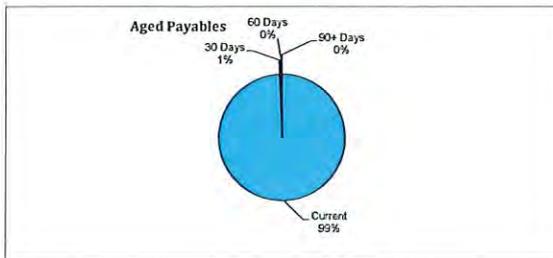
12 PAYABLES

Payables - General	Credit	Current	30 Days	60 Days	90+ Days	Total
Payables - general	0	\$ 507,215	\$ 3,028	\$ 351	\$ 770	511,364
Percentage	0	99.2%	0.6%	0.1%	0.2%	
Balance per Trial Balance						
Sundry creditors						511,364
Other payables						154,634
Total payables general outstanding						665,998

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire prior to the end of the period that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition. The carrying amounts of trade and other payables are considered to be the same as their fair values, due to their short-term nature.



SHIRE OF KONDININ
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 MAY 2023

13 BORROWINGS

Repayments - Borrowings

Information on Borrowings Particulars	Maturity Date	Principal 1-Jul-22	New Loans	Principal Repayments			Principal Outstanding			Interest Repayments		
				Original Budget	Amended Budget	Actual	Original Budget	Amended Budget	Actual	Original Budget	Amended Budget	Actual
				\$	\$	\$	\$	\$	\$	\$	\$	\$
Health												
Loan #137A - Housing (20)	01/33	160,362		11,617	160,362	160,362	148,745	0	0	7,769	7,769	4,933
Housing												
Loan #140 - Housing (10)	01/26	63,449		15,131	63,449	63,449	48,318	0	(0)	2,079	2,079	614
Community Amenities												
Loan #139 - Hyden Sewerage (20)	03/34	466,840		28,741	28,741	28,741	438,099	438,099	438,099	32,123	32,123	19,035
Loan #142 - Townsite Drainage (20)	10/38	1,484,431		66,810	66,810	66,810	1,417,621	1,417,621	1,417,621	74,191	74,191	46,782
Recreation & Culture												
Loan #136 - Kondinin Pool Redevelopment (20)	01/33	328,369		23,708	23,708	23,708	304,661	304,661	304,661	15,894	15,894	8,618
		2,503,451	0	146,007	343,070	343,070	2,357,444	2,160,381	2,160,381	132,055	132,055	79,982
Self supporting Loans												
Recreation & Culture												
Loan #131A - Kondinin Community Recr Committee*** (10)	05/24	21,110		10,336	10,336	10,336	10,774	10,774	10,774	1,401	1,401	765
Loan #134A Hyden Progress Association*** (10)	11/27	176,124		29,888	29,888	29,888	146,236	146,236	146,236	7,744	7,744	5,032
Loan #138 Karlgarin Progress Association*** (10)	03/23	17,957		17,957	17,957	17,957	0	0	0	1,591	1,591	454
		215,191	0	58,181	58,181	58,180	157,010	157,010	157,011	10,736	10,736	6,252
Totals		2,718,642	0	204,188	401,250	401,250	2,514,454	2,317,391	2,317,392	142,791	142,791	86,234
Current borrowings		401,250							0			
Non-current borrowings		2,317,392							2,317,392			
		2,718,642							2,317,392			

All loan repayments were financed by general purpose revenue.
 Self Supporting loan are financed by repayments from third parties.

KEY INFORMATION

Borrowing costs are recognised as an expense when incurred except where they are directly attributable to the acquisition, construction or production of a qualifying asset. Where this is the case, they are capitalised as part of the cost of the particular asset until such time as the asset is substantially ready for its intended use or sale.

Fair values of borrowings are not materially different to their carrying amounts, since the interest payable on those borrowings is either close to current market rates or the borrowings are of a short term nature. Non-current borrowings fair values are based on discounted cash flows using a current borrowing rate.

14 OTHER CURRENT LIABILITIES

	Note	Opening Balance 1 July 2022 \$	Liability transferred from (to) non current \$	Liability Increase \$	Liability Reduction \$	Closing Balance 31 May 2023 \$
Other current liabilities						
Other liabilities						
- Contract liabilities		503,262	0	0	(184,461)	318,801
- Capital grant/contributions liabilities		0	0	0	0	0
Total other liabilities		503,262	0	0	(184,461)	318,801
Employee benefit provisions						
Annual leave		234,908	0	0	0	234,908
Long service leave		183,093	0	0	0	183,093
		418,002	0	0	0	418,002
Total other current liabilities		921,264	0	0	(184,461)	736,803

Amounts shown above include GST (where applicable)

A breakdown of contract liabilities and associated movement is provided on the following pages at Note 15 and 16.

KEY INFORMATION

Provisions

Provisions are recognised when the Shire has a present legal or constructive obligation, as a result of past events, for which it is probable that an outcome of economic benefits and benefits will result and that outflow can reliably measured.

Provisions are measured using the best estimate of the amounts required to settle the obligation at the end of the reporting period.

Employee Related Provisions

Short-term employee benefits

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave.

Short-term employee benefits are measured at the (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as part of the current trade and other payables in the calculation of net current assets.

Other long-term employee benefits

The Shire's obligations for employees annual leave and long service leave entitlements are recognised as employee related provisions in the statement of financial position.

Long-term employee benefits are measured at the present value of the expected future payments to be made to employees. Expected future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for other long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire does not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

Contract liabilities

An entity's obligations to transfer goods or services to a customer for which the entity has received consideration (or the amount is due) from the customer.

Capital grant/contribution liabilities

Grants to acquire or construct recognisable non-financial assets to identified specifications to be constructed to be controlled by the Shire are recognised as a liability until such time as the Shire satisfies its obligations under the agreement.

SHIRE OF KONDININ
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 MAY 2023

15 GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Unspent grant, subsidies and contributions liability					Grants, subsidies and contributions revenue			
	Liability 1-Jul	Increase in Liability	Liability Reduction (As Revenue)	Liability 30-Jun	Current Liability 30-Jun	Original Annual Budget Revenue	YTD Budget	Amended Annual Budget	YTD Revenue Actual
	\$	\$	\$	\$	\$	\$	\$	\$	\$
Grants and subsidies									
General Purpose Funding									
Grants Commission - General	0	0	0	0	0	282,906	496,760	496,760	496,760
Grants Commission - Road Funds	0	0	0	0	0	141,449	198,209	198,209	198,209
Governance									
Local Hero Grant	0	0	0	0	0	0	0	0	50
Law, Order and Public Safety									
Grant - DFES LGGGS Operating Grant	3,757	0	3,757	0	0	19,421	19,421	19,421	19,421
ESL Administration Fee	0	0	0	0	0	4,000	4,000	4,000	4,000
Recreation and Culture									
Mental Health Week Grant	0	0	0	0	0	0	0	0	455
WA Bike Week Grant	0	0	0	0	0	0	0	0	945
Transport									
Anywhere Road - Mtce	0	0	0	0	0	221,392	221,392	221,392	221,392
Street Lighting Subsidy	0	0	0	0	0	4,500	0	4,500	0
Economic Services									
Lottery West Grant for Hyden 100	0	0	0	0	0	0	0	0	3,500
Other Property & Services									
Diesel Fuel Rebate/Subsidies	0	0	0	0	0	50,000	43,965	50,000	51,112
TOTALS	3,757	0	3,757	0	0	723,668	983,748	994,282	995,844

16 CAPITAL GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Unspent grant, subsidies and contributions liability					Capital grants, subsidies and contributions revenue			
	Liability 1 July 2022	Increase in Liability	Decrease in Liability (As Revenue)	Liability 31 May 2023	Current Liability 31 May 2023	Original Annual Budget Revenue	YTD Budget	Amended Annual Budget	YTD Actual Revenue
		\$	\$	\$	\$	\$	\$	\$	\$
Capital grants and subsidies									
Governance									
LRCI-3 Program Grant (CCTV)	55,000	0	0	0	55,000	0	0	0	0
Welfare									
Aged Housing Grant (SHERP)	0	0	0	0	0	1,630,078	0	1,630,078	0
Community Amenities									
LRCI-3 Program Grant (Bin Enclosures)	45,500	0	91,000	0	(45,500)	91,000	45,500	91,000	91,000
Recreation and Culture									
LRCI-3 Grant Hyden S/Pool Building	260,234	0	0	0	260,234	607,968	607,968	602,035	0
LRCI-3 Grant Hyden S/Pool Carpark	87,500	0	93,433	0	(5,933)	87,500	87,500	93,433	93,433
LRCI-3 Grant Hyden Tennis Club (Re-Roofing)	55,000	0	0	0	55,000	150,000	150,000	150,000	93,421
Hyden Tennis Court	0	0	0	0	0	140,212	140,212	140,212	0
Transport									
WSFN Grant - Secondary Freight Project	0	0	0	0	0	1,651,550	1,651,549	1,651,550	1,827,467
DOT Grant - Shared Pathway	0	0	0	0	0	100,000	100,000	100,000	60,000
RRG Grants - Capital Projects	0	0	0	0	0	390,807	390,808	390,807	312,646
MRWA WBS Direct Grant	0	0	0	0	0	0	0	0	4,762
R2R Grants - Capital Projects	0	0	0	0	0	506,417	506,417	506,417	506,417
Grant - Remote Road Upgrade Pilot Program	0	0	0	0	0	2,000,000	0	2,000,000	0
Economic Services									
Grant - Hyden Centenary	0	0	0	0	0	25,000	25,000	25,000	25,000
Water Management Infrastructure Grant						0	0	0	60,000
TOTALS	503,234	0	184,433	0	318,801	7,380,532	3,704,954	7,380,532	3,074,146

SHIRE OF KONDININ
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 MAY 2023

17 TRUST FUND

Funds held at balance date over which are required by legislation to be credited to the trust fund and which are not included in the financial statements are as follows:

Description	Opening Balance 01 Jul 2022	Amount Received	Amount Paid	Closing Balance 31 May 2023
	\$	\$	\$	\$
Election Deposits	80	0	(80)	0
Staff Christmas Funds	16,020	25,130	(27,480)	13,670
Housing Bonds	5,980	380	(820)	5,540
Other Bonds	0	0	0	0
Miscellaneous Funds	1,300	0	0	1,300
	23,380	25,510	(28,380)	20,510

SHIRE OF KONDININ
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 MAY 2023

18 BUDGET AMENDMENTS

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL Code	Description	Council Resolution	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
				\$	\$	\$	\$
	Opening surplus adjustment	4079	Opening Surplus(Deficit)		165,472		165,472
03201	Grants Commission Grant Received - General	4079	Operating Revenue		213,854		379,326
03202	Grants Cmmission Grant Received - Roads	4079	Operating Revenue		56,760		436,086
03210	Interest Received on Reserves	4079	Operating Revenue		48,000		484,086
03210	Interest Received on Investments .	4079	Operating Revenue		46,077		530,163
04136	Contributions	4079	Operating Expenses			(100,000)	430,163
04155	Consultancy Services	4079	Operating Expenses			(20,000)	410,163
04190	Transfer from Reserves (SJA Cap_Upgrade)	4079	Capital Revenue		100,000		510,163
04275	Sundry Income - Ex Gst	4079	Operating Revenue		4,500		514,663
04202	Workers Compensation - Insurance Premiums	4079	Operating Expenses			(16,377)	498,286
04202	Workers Compensation - Insurance Premiums	4079	Operating Expenses		16,377		514,663
04230	Consultancy Services	4079	Operating Expenses			(30,000)	484,663
04242	Insurance (ex W/Comp)	4079	Operating Expenses			(18,304)	466,359
04280	Transfer to Employee Reserve	4079	Capital Expenses			(50,000)	416,359
16187	Principal Repayment Loan#137A - Doctor's Resid	4079	Capital Expenses			(148,745)	267,614
08450	Depreciation Expense - Aged & Disabled	4079	Non Cash Item	(12,580)			267,614
09195	Principal Repayment Loan#140 - Staff Housing	4079	Capital Expenses			(48,318)	219,296
10170	Domestic & Commercial Bin Charges	4079	Operating Revenue		5,970		225,266
12200	Salaries & Wages - Kondinin Pool (Contractor)	4079	Operating Expenses			(5,060)	220,206
12281	Purchase Land and Buildings - Swimming Areas	4079	Capital Expenses			(81,567)	138,639
12284	Purchase Infrastructure - Swimming Areas and Beaches	4079	Capital Expenses		81,567		220,206
11310	Sporting Pavilion - Maintenance	4079	Operating Expenses			(32,130)	188,076
11350	Depreciation Expense - Other Rec & Sports	4079	Non Cash Item	(14,000)			188,076
11396	Transfer to Hyden Recreation Building Reserve	4079	Capital Expenses			(100,000)	88,076
12100	Roads Construction - Council Funded	4079	Capital Expenses			(40,627)	47,449
12266	Depreciation - Roads	4079	Non Cash Item	(50,500)			47,449
12267	Depreciation Other Infrastructure	4079	Non Cash Item	(7,000)			47,449
12450	Depreciation - Parking Facilities	4079	Non Cash Item	(15,000)			47,449
13260	Depreciation Expense - Tourism & Area	4079	Non Cash Item	12,500			47,449
13650	Depreciation Expense - Other Economic	4079	Non Cash Item	(9,500)			47,449
	Purchase Furniture & Equipment - Tourism &						
13282	Area Promo	4079	Capital Expenses			(9,352)	38,097
70102	Transfer to Reserves	4079	Capital Expenses			(48,000)	(9,903)
Closing Funding Surplus (Deficit)				(96,080)	738,577	(748,480)	(9,903)

9.4.1 Pistol Club Resolution

...5....

10. Cont.

Our Committee feels that the cost of repairs could be considerable as the roof was put on by volunteer labour and the majority of nails were overdriven also the iron was purchased soon after the war and is of a poor quality - the ceiling is sagging and the centre vents on ceiling are breaking up.

We would request the Shire to have a qualified builder inspect these premises and if possible include repairs in next years budgets.

(2) Re your letter 26.8.1975 could you please advise us if any progress has been made re purchase of small tables.

Moved Councillor Andrews/Growden that the Shire Clerk obtain expert advice on the condition of the Hyden Hall and report to Council.

Carried.

11. Hyden Autos

I wish to apply for your approval for the use of part of my premises situated in Marshall St, Hyden, as an out-let for Motor Vehicle Sales.

It is intended to demolish an unsightly old shed on the eastern side of the property, and propose to make this into the used vehicle section.

Moved Councillor Andrews/Radbourne that Council approve the application from Mr L. Shenton to use portion of property in Marshall St Hyden as a outlet for Motor Vehicle Sales.

Carried.

12. Pistol Club

We are hoping to form a Pistol Club in the area surrounding Allen Rocks. A site on Roe Location 2078 has been selected and meets Sergeant Whites Approval. Have enclosed diagrams of proposed site hoping for your approval.

Moved Councillor Andrews/Ray that Council has no objections to a Pistol Club being set up in the Allan Rocks area.

Carried.

13. Dept of Lands & Surveys

I refer to your letter dated the 24th August, 1976 in which you requested closure of a section of road adjoining and extending through the above locations.

The road will be inspected prior to a decision being made and I will contact you again regarding this matter.

Received.

14. Dept of Lands & Surveys

I advise for your information that Executive Council has approved of Roe Location 2688 being set apart as Reserve No 34295 for the purpose of "Conservation of Flora".

Notice to this effect will be published in the Government Gazette dated 1st of October, 1976 and I enclose a print showing the said reserve.

Letter received.

Bush Fires Act.

List of all nominated officers for the Municipality.

Moved Councillor Ray/Growden. that the prepared list of Bush Fire Officers be endorsed and forwarded to the Bush Fires Board for registration.

Carried.

Andrews

9.4.2 Letter from Lions Club



Kondinin Lions Club
PO Box 32
KONDININ WA 6367

Shire of Kondinin
David Burton – CEO
PO Box 6
KONDININ WA 6367

22nd May 2023

Dear David

The Kondinin Lions Club is celebrating its 50th birthday on 4th November 2023. The Lions' Club has been an integral part of the Kondinin Community during this period from small concreting job, tree lopping and the annual Lions Auction in the early days to now running the two second-hand shops in town and coordinating the collection of bottles, cans, and plastic for the Containers of Change program. As a small club we are proud of our achievements and are looking forward to our 50th Celebration later in the year. To help in the cost of this event we are wondering if the Shire would consider donating \$500.00. This would be used to cover the hire of the venue, purchasing commemorative pens and printing costs involved in the compilation of a history of the Kondinin Lions Club booklet.

We hope that you will be favourable in your response.

With regards

Toni Smeed
President
Kondinin Lions Club

9.4.3 Minutes of GECZ Meeting



Australian Government



mainroads
WESTERN AUSTRALIA

BUILDING OUR FUTURE

Main Roads Report Great Eastern Country Zone

April 2023

Current Works

Road	Between	SLK Range	Activity	Main Roads Contact	Contractor	Contractor Contact
Great Eastern Hwy	Bodallin	311 - 327	Package 4b and 5 – scope below	Dileep Pokharel	Highway Construction	John Powell
<p>Works are due for completion in May 2024.</p> <ul style="list-style-type: none"> • Widening and sealing 15 kilometres between Stephen Road and just west of Noongar South Road. • Realignment in Bodallin townsite. • Intersection upgrades at Penton Road, Ivey Road, Blyth Road, Bodallin South Road and Bodallin North Road. • A new two-kilometre passing lane eastbound, between Bodallin and Moorine Rock. • A new westbound rest area between Bodallin and Moorine Rock. 						
Great Eastern Hwy	Walgoolan Bridge	290.66 - 293.50	Bridge Replacement	Matt Baker / Bronwyn Roberts	Highway Construction	Michael Healy
	Moorine Rock Bridge	339.66 – 340.86	Bridge Widening			
<p>Walgoolan Bridge:</p> <ul style="list-style-type: none"> • Eastern alignment sealed and traffic will transfer from the side track following Easter. • Works progressing on western alignment. • Structure commenced, foundations installed, pile caps constructed, some pre-cast elements in place on western side and some still in fabrication. <p>Moorine Rock Bridge:</p> <ul style="list-style-type: none"> • Works suspended and discussions continuing with ARC Infrastructure regarding access. <p>All works are due for completion in December 2023.</p>						

Future Works

Great Eastern Hwy - Walgoolan Southern Cross (SLK 290 – SLK 365.8)

- Package 3, 6 and 8 – (widening, overlay and seal 37km) - design complete, Design/development for Covalent Lithium Intersection engaged, minor land and services relocation in progress, delivery scheduled in 23/24 onwards.

Great Eastern Hwy - Coates Gully Stage 2 Roadworks (SLK 56.3 – SLK 68)

Realignment of Great Eastern Highway between El Caballo and Bakers Hill including eastbound and westbound passing lanes. Construction planned for in 23/24.

Work includes:

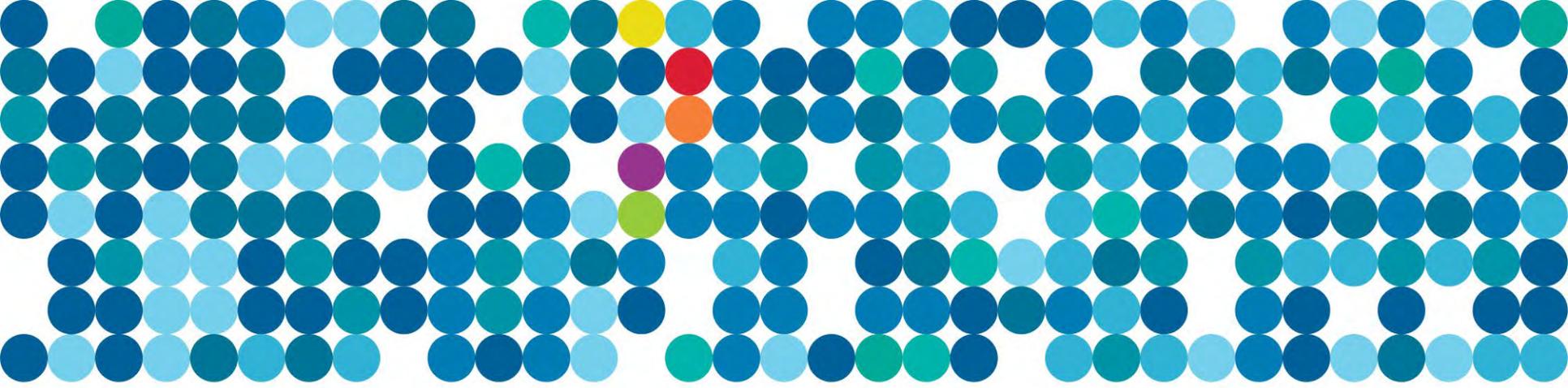
- Realignment, widening and overlay of the Coates Gully section from 56.91 to 67.4 SLK.
- Additional westbound and eastbound passing lanes.
- Intersection Improvements on GEH at Bodeguero Way, Wariin Road, Chedaring Road, Hawke Avenue, Inkpen Road, Coates Road and Oyston Road.
- Improvements to off road drainage and private property access.
- Removal and relocation of all rest areas/parking bays.

Design is complete. Environmental approvals and land acquisition are in progress. Funding confirmed.

Great Eastern Highway – Avon Industrial Park Leeming Rd Intersection – Road designs are at an early stage and may change. 85% design is finalised. There is currently no timing or funding for construction.

Northam RTAA – Revised preliminary design in progress. Land dealing is underway with Procon. Funding confirmed 2023/24 and 2024/25.

- Additional Parking Bays
- Lighting
- Additional Amenities
- Minor reconditioning of existing areas



GECZ

Meeting : 17 April 2023

Bec Bowler- 0409 293 618

Manager- Customer & Stakeholder – Goldfields and Agricultural Region

Think climate change.
Be waterwise.



Farmlands Project

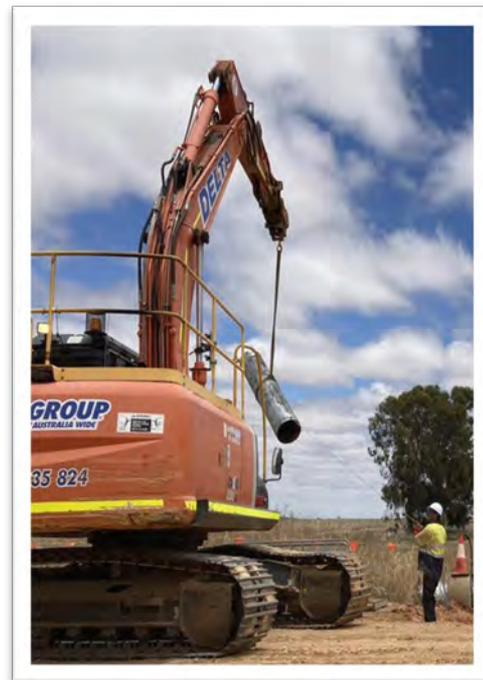


Stage 8 is now complete

- All sites came in under budget
- An additional 500 metres of damaged pipe in Morawa and a further 800 metres in Tammin was replaced
- A total of 12.163km of pipeline was replaced in Stage 8

Stage 9/10 has been announced - 4 packages of work (2023/'25)

- Kellerberrin/Trayning : 3,440 metres
- Wyalkatchem : 180 metres
- Koorda : 70 metres
- York : 63 metres



Enquiries : Christine Lowther M : 0477 324 779

Think climate change.
Be waterwise.



Golden Pipeline- Tourism and heritage

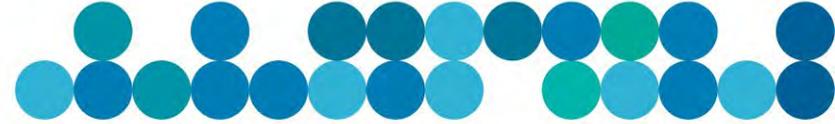
- 8 pump stations
- 6 requiring some form remediation
 - Detailed site assessments completed on all sites
 - Regular assessment and maintenance- i.e. Dustex, signage, fencing
 - Planning 2023-2025
 - Remediation 2023-2026

Working with the National Trust where assets are vested with them

Roadshow coming soon to a ROC near you... our plans/stakeholder engagement re: golden pipeline plans for replacement/preservation/interpretation



Around the grounds



- Merredin, Kellerberrin, Corrigin, Cunderdin, Wyalkatchem sewer relining activity- Mid March- Late July 2023
- Community Water Supplies Partnership Program- \$100,000 received to increase use of treated wastewater from Merredin Water Resource Recovery Facilities (WRRF)
- Kellerberrin WRRF reuse scheme upgrade- commissioning in September 2023
- Wyalkatchem WRRF reuse scheme upgrade- power due to site around May 2023, final commissioning in September 2023
- City of Kalgoorlie-Boulder community stormwater/recycled water shortage
 - WC capacity to deliver shortfall
- AA Dams
 - Water Corporation currently owns or manages a significant number of land parcels throughout the wheatbelt that contain small dams no longer required for drinking water supply purposes.
 - If Shires are interested in taking over dams in their district, the Water Corporation will perform the necessary paperwork and liaise with DPLH to effect the transfer of the land and assets.
 - Note: The SW Native Title Settlement process is causing delays with some reserve transfers. This settlement process may result in joint vestings for some reserves, although DPLH is trying to develop manageable solutions.
 - Contact Water Corporation's Property Portfolio Team (David Morgan – 9420 2640) for further detail.

President's Report

May 2023

As always it hardly seems like yesterday that the last round of Zone meetings took place. Local Government continues to be adaptable to change, some of which we welcome, others of course we are finding challenging.

State Council continues to consider Zone responses to our Agenda and other current matters affecting Local Government and WALGA. Our Policy Teams are working effectively; the updates from these Teams are comprehensive and it is evident that WALGA policy positions are reviewed regularly to ensure they are current.

Constitutional Recognition of Aboriginal and Torres Strait Islander Peoples

At its [March 2023](#) meeting, State Council resolved:

That WALGA:

- 1. Supports respectful conversations about constitutional recognition of Aboriginal and Torres Strait Islanders and the Voice to Parliament.*
- 2. Requests that the Commonwealth Government ensure that Local Governments and communities are kept informed on the proposal.*

WALGA will continue to keep the Local Government sector informed of progress towards the Referendum on an Aboriginal and Torres Strait Islander Voice.

Local Government Act Reforms

Finally, the much-anticipated reforms have been tabled. It's been a very long journey to get to this point and it is important that we continue to be part of the conversation around the regulations that underpin these legislative changes.

The Local Government Amendment Bill 2023 (bill No.103) was introduced to the Legislative Assembly on 23 February 2023 and received its Third Reading on 23 March 2023.

The Bill is listed for the Legislative Council to resume debate when it next sits on Tuesday, 9 May 2023.

Work on the second tranche of additional legislation to deliver further reforms is continuing in consultation with the Local Government sector. The second tranche of reforms is expected towards the end of the 2023 calendar year and will include:

- Office of the Local Government Inspector including Monitors and a Conduct Panel replacing the current Standards Panel.
- Elected Member Superannuation
- Audit Committees – Requirement for an Independent Chair
- Streamlining Regional Subsidiaries
- WALGA's role in the Local Government Act

Active Travel to School

It was my pleasure to attend the formal launch of the Active Travel to School Roadmap by Hon Rita Saffioti MLA, Minister for Transport, Planning and Ports.

WALGA and Councils will have the opportunity through the Strategy to address challenges of traffic congestion around schools faced by many urban Local Governments. This issue was placed on the agenda at the 2022 WALGA Annual General meeting and we are looking to the interagency and stakeholder working group to contribute positive change. In Perth, around 20% of students walk or ride to school. A significant increase in this proportion would reduce car traffic and demand for parking around school sites.

Transport and Roads Forum

This forum was such a great success. I valued the opportunity to meet with Members from most parts of the State. Conscious of the ongoing impacts of flooding in the Kimberley and ever-present threat of floods and fires across the State, keynote speaker Brendan Moon AM, Coordinator-General for Emergency Management offered delegates an encouraging and pragmatic approach by the National Emergency Management Agency to strengthen and support Local Governments to prepare for and respond to natural disasters.

Many Local Governments find the current disaster recovery funding arrangements ineffective, and the Association will increase our efforts to achieve better outcomes in this area. Concurrent sessions provided delegates the opportunity to interact with some contentious issues including speed limit setting, permits to clear native vegetation to upgrade roads, heavy vehicle access to the road network and incorporating recycled materials in road construction.

LGIS – Board Planning

Earlier this month I participated in an LGIS board workshop that we hold twice a year. This was the first workshop for the new LGIS CEO James Sheridan, and we covered important ground reviewing the key risks that you rely on LGIS to support you in addressing. I enjoyed, and was challenged by, the ESG workshop session and look forward to progressing the work we have started in developing an appropriate sustainability and ESG framework for LGIS. With a Tropical Cyclone close to making landfall as I prepare this report, the importance of LGIS to you our Members has never been more acute.

ICT/ Cyber Security Project

A couple of OAG Reports and constant publicly advised threats and breaches is keeping this subject as a grave concern for many Local Governments.

The sector is conscious of information systems security and integrity following Office of the Auditor General performance audits in June 2020, November 2021, June 2022 and March 2023.

In response to the findings, WALGA has been in communication with Office of Digital Government (DGov) as a potential future stakeholder, to explore the potential for WALGA to facilitate Local Government access to the WA Cyber Security Unit, operated by DGov. WALGA will collaborate with DGov to prepare a Cyber Security Business Case for consideration by the State Government, inclusive of the costs and benefits of providing Cyber Security Operations Centre resources for WALGA and its Members.



To facilitate the Business Case development necessary to make the Ministerial submission, WALGA has engaged a consultant who is currently surveying the sector. An important aspect of the consultancy will be obtaining valuable quantifiable information on systems and process perspective and experiences of our member Local Governments.

A survey released to the sector in March 2023 resulted in 70 responses, with additional focus group meetings being held with representatives of metropolitan and regional Local Governments.

Cr Karen Chappel JP
WALGA President

President's Contacts

The President's contacts since 1 March 2023 and scheduled before 3 May 2023 are as follows:

State Government Relations

- Shadow Minister for Local Government and Territories, Hon. Darren Chester MP
- Minister for Training; Water; Youth, Hon. Simone McGurk MLA
- Minister for Regional Development; Disability Services; Fisheries; Seniors and Ageing, Hon. Don Punch MLA
- Minister for Emergency Services; Innovation and the Digital Economy; Medical Research; Volunteering, Hon. Stephen Dawson MLC
- Hon. Melissa Price MP, Member for Durack
- Minister for Early Childhood Education; Child Protection; Prevention of Family and Domestic Violence; Community Services, Hon. Sabine Winton MLA
- Minister for Culture and the Arts; Sport and Recreation; International Education; Heritage, Hon. David Templeman MLA

Zone Meetings

- Kimberley Country Zone meeting
- Murchison Country Zone meeting
- Great Eastern Country Zone meeting
- Great Southern Country Zone meeting
- Pilbara Country Zone meeting
- South East Metropolitan Zone meeting

Local Government Relations

- State Council meetings:
 - State Council meeting, 1 March
 - Strategic Forum, 1 March
 - Finance and Services Committee meeting
- WALGA events
 - Transport and Roads Forum / Field Day
 - WALGA Best Practice Governance Review webinar
 - Medium Density Code webinar
 - National Reconciliation Week 2023 briefing to Members webinar
- LGIS
 - Board meeting
 - Board workshop
- ALGA
 - Governance policy discussion
 - Board meeting
 - Executive meeting
- Lord Mayor's Distress Relief Fund Board meeting
- State Road Funds to Local Government Advisory Committee meeting

Conferences, Workshops, Public Relations

- International Women's Day Celebration
- Growing Regions Program virtual roundtable
- The Future of Cyber Security conference
- Wagin Woolorama

Great Eastern Country Zone

Minutes

Monday, 17 April 2023

Commenced at 9.41am

Shire of Merredin

Merredin Regional Community & Leisure Centre
Bates Street, Merredin Western Australia 6415

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14.	Closure	21



1. Opening and Welcome

The Chair declared the meeting open at 9.41am

1.1 Acknowledgement of Country

The Great Eastern Country Zone of WALGA acknowledges the Traditional Custodians of this land, and pays our respects to their Elders past, present and future.

Noted

1.3 Announcements

2. Attendance

Shire of Bruce Rock	President Cr Stephen Strange Deputy President Cr Anthony Cook
Shire of Cunderdin	Mr Stuart Hobley, Chief Executive Officer, non-voting
Shire of Dowerin	Ms Rebecca McCall, Chief Executive Officer, non-voting
Shire of Kondinin	Mr David Burton, Chief Executive Officer, non-voting
Shire of Koorda	Mr Darren Simmons, Chief Executive Officer, non-voting
Shire of Merredin	President Cr Mark McKenzie Ms Lisa Clack, Chief Executive Officer, non-voting
Shire of Mount Marshall	President Cr Tony Sachse (Chair) Mr Ben McKay, Chief Executive Officer, non-voting
Shire of Narembeen	President Cr Kellie Mortimore Mr Paul Sheedy, Acting Chief Executive Officer, non-voting
Shire of Nungarin	Deputy President Cr Gary Coumbe Cr Eileen O'Connell, non-voting
Shire of Tammin	President Cr Glenice Batchelor
Shire of Trayning	President Cr Melanie Brown Ms Leanne Parola, Chief Executive Officer, non-voting
Shire of Westonia	President Cr Mark Crees Deputy President Cr Ross Della Bosca Cr Karin Day
Shire of Wyalkatchem	President Cr Quentin Davies (Deputy Chair) Mr Peter Klein, Chief Executive Officer, non-voting



Shire of Yilgarn

President Cr Wayne Della Bosca
Mr Nic Warren, Chief Executive Officer, non-voting

Guests

Main Roads WA

Rich Bain, Manager Heavy vehicle Road Network Access
Mohammad Siddiqui, Regional Manager Wheatbelt

Wheatbelt Development Commission

Susan Hall Acting Chief Executive Officer
Renee Manning, Principal Regional Development Officer

Water Corporation

Rebecca Bowler, Manager, Customer & Stakeholder

Regional Development Australia WA

Mandy Walker, Director Regional Development

Members of Parliament

Hon Mia Davies MLA, Member for Central Wheatbelt

WALGA

President Cr Karen Chappel JP, WALGA President
James McGovern, Manager Governance & Procurement
Naoimh Donaghy, Governance & Organisational Services Officer

Apologies

Shire of Cunderdin,

President Cr Alison Harris

Shire of Bruce Rock,

Mr Darren Mollenoyux, Chief Executive Officer, non-voting

Shire of Cunderdin

Deputy President Cr Tony Smith

Shire of Dowerin

President Cr Robert Trepp

Shire of Kellerberrin

Cr Darrel Hudson

President Cr Scott O' Neill

Deputy President Cr Emily Ryan

Shire of Kondinin

Mr Raymond Griffiths, Chief Executive Officer, non-voting

President Kent Mouritz

Shire of Koorda

Deputy President Cr Beverley Gangell

President Cr Jannah Stratford

Shire of Merredin

Deputy President Cr Buster Cooper

Cr Donna Crook

Shire of Mount Marshall

Deputy President Cr Nick Gillett

Shire of Mukinbudin

President Cr Gary Shadbolt

Deputy President Romina Nicoletti

Mr Dirk Sellenger, Chief Executive Officer, non-voting

Shire of Narembeen

Deputy President Cr Scott Stirrat

Shire of Nungarin

President Cr Pippa de Lacy

Mr Leonard Long, Chief Executive Officer, non-voting

Shire of Tammin

Deputy President Cr Tanya Nicholls

Ms Joanne Soderlund, Chief Executive Officer, non-voting

Shire of Trayning

Deputy President Cr Geoff Waters

Shire of Westonia

Mr Bill Price, Chief Executive Officer, non-voting

Shire of Wyalkatchem

Deputy President Cr Owen Garner

Shire of Yilgarn

Deputy President Cr Bryan Close

Hon Rick Wilson MP, Federal Member for O'Connor

Hon Steve Martin MLC, Liberal Member for the Agricultural Region

Hon Peter Rundle MLA, Member for Roe

Hon Martin Aldridge MLC, Member for Agricultural Region

Hon Shelley Payne MLC, Member for Agricultural Region

Hon Darren West MLC, Member for Agricultural Region
Hon Sandra Carr MLC, Member for Agricultural Region
Hon Colin de Grussa MLC, Member for Agricultural Region

Department of Local Government, Sport, & Cultural Industries,
Samantha Cornthwaite, Regional Manager Wheatbelt
Cliff Simpson, Regional Road Safety Advisor

3 Attachments

Attachments to the Minutes:

1. Item 5.1 Main Roads presentation
2. Item 11.5 WALGA President's Report
3. Item 7.5 Water Corporation presentation

4. Declarations of Interest

Nil

5. Guest Speakers / Deputations

5.1 Rich Bain, Manager Heavy Vehicle Road Network Access, Main Roads

Rich Bain, Manager Heavy Vehicle Road Network Access, Main Roads, presented on Heavy Vehicles Services – **Attachment 1**.

Noted

5.2 James McGovern, WALGA Manager Governance and Procurement

James McGovern, Zone Executive Officer, presented on the Local Government Legislation Amendment Bill tabled in Parliament in February 2023.

Noted

6. Members of Parliament

Any Members of State and Federal Government, in attendance will be invited to provide a brief update on matters relevant to the Zone.

- Hon Mia Davies MLA, Member for Central Wheatbelt
 - Mia provided an update and responded to questions on her portfolios: Aboriginal affairs, electoral affairs, and mines/petroleum
 - The guidelines for the new *Aboriginal Cultural Heritage Act (2021)* were released last week
 - The new Act and Regulations will take effect from 1 July 2023
 - Aboriginal Affairs Minister Dr Tony Buti has made assurances about the consultation process requirements under the Act
 - The WAEC has just released calls for suggestions to boundary changes for the next election in 2025

- Local Government and community groups encouraged to consider submitting suggestions
- There will likely be a significant redistribution with this election, in both the Upper and Lower House, including a risk of reduction of regional seats in the Lower House
 - Suggestions close 1 May
- State budget upcoming in May
- Live export
 - See Item 12.1
- Ports
 - There is an internal review of ports underway by the State Government

11.5 WALGA President's Report

President Cr Karen Chappel was in attendance for this meeting and spoke to her report (**Attachment 2**)

That the Great Eastern Country Zone notes the WALGA President's Report.

Resolved

The meeting broke for morning tea at 11.10am

The meeting reconvened at 11.23am



7. Agency Reports

7.1 Department of Local Government, Sport, and Cultural Industries (DLGSC)

The Department of Local Government, Sport, and Cultural Industries were an apology for this meeting, however the attached report has been provided to the Zone.

The Department ask that if you have any questions, WALGA will note and send to DLGSC, the response will come back to you through WALGA. For individual queries from members, a list of DLGSC contacts have been provided within the report.

Noted

7.2 Wheatbelt Development Commission (WDC)

Wheatbelt Development Commission was an apology for this meeting.

Noted

7.3 Regional Development Australia Wheatbelt (RDAB)

Mandy Walker, Director Regional Development, provided an update to the Zone.

Noted

7.4 Main Roads Western Australia

Mohammad Siddiqui, Regional Manager Wheatbelt, provided an update to the Zone. **Attachment 3.**

Mohammad addressed queries from Members in regards to inadequate intersections. Mohammad welcomed suggested areas that warrant analysis to be carried out to bring worrisome sections up to spec. He invited Members to contact him directly with concerns.

Noted

7.5 Water Corporation

Rebecca Bowler, Manager, Customer & Stakeholder, provided an update to the Zone (**Attachment 3**)

Noted

8. Minutes

8.1 Confirmation of Minutes from the Great Eastern Country Zone meeting held on Monday, 13 February 2023

The Minutes of the Great Eastern Country Zone meeting held on Monday, 13 February 2023 were previously circulated to Member Councils.

RECOMMENDATION

Moved: President Cr Glenice Batchelor
Seconded: President Cr Wayne Della Bosca

That the minutes of the Great Eastern Country Zone meeting held on Monday, 13 February 2023 be confirmed as a true and accurate record of the proceedings.

CARRIED

8.2 Business Arising from the Minutes from the Great Eastern Country Zone Meeting held on Monday, 13 February 2023

8.2.1 (Item 13.1) Review of Audit Process by the Office of Auditor General

Background:

The conduct of the 2021/2022 audit was raised by the Shire of Yilgarn at the February 2023 meeting and reflected similar commentary and recommendation by the Shire of Tammin in November 2022. The Zone Status Report at Item 11.3 provides an update on actions taken.

Comment:

The Shire's of Yilgarn, Westonia, Nungarin and Narembeen reiterated frustrations at the process, changing staff within the Auditors office, short periods of time by Auditor staff on site which then was followed by Shire staff spending an enormous amount of time sending missed information to the Auditor. Auditors were noted to be unfamiliar with Local Government processes and displayed an unfamiliarity with what was needed on site again resulting in Shire staff filling the gap of missed information. Members are also frustrated at the timing of the audits to align with Elected Member availability outside of harvesting etc.

Cr Day addressed the word 'comply' used to describe 40 Local Governments who have not complied with auditing guidelines when she believes the number of Local Governments who have not completed their audits is heavily influenced by lack of available Auditors as opposed to a delay on the Local Governments behalf.

ACTION:

That Members who wish to make a report, supply a timeline of correspondences and events with the Office of Auditor General to WALGA's Zone Executive Officer James McGovern, and consider responding to the joint Local Government Professionals/WALGA survey.

8.2.2 Mental Health checks for firearm owners

Cr Glenice Batchelor requested clarity around the requirements for all firearm owners to undergo a mental Health check. Hon Mia Davis advised she will seek further information from the Hon Colin de Grussa who is shadowing the Agriculture portfolio at present.

Noted

8.3 Minutes of the Great Eastern Country Executive Committee Meeting held on Thursday, 7 April 2023

The Minutes of the Great Eastern Country Zone Executive Committee meeting held on Thursday, 2 February 2023 were attached.

RECOMMENDATION

Moved: Cr Stephen Strange

Seconded: Cr Kellie Mortimore

That the Minutes of the Great Eastern Country Zone Executive Committee meeting held on Thursday 7 April 2023 be endorsed.

CARRIED

8.4 Business Arising from the Minutes from the Great Eastern Country Zone Executive Meeting held on Thursday 7 April 2023

Items 8.4.1, 8.4.2 and 8.4.3 relate to proposals and opportunities arising from the Great Eastern Country Conference held on 28 February 2023.

8.4.1 Zone Meeting – Local Government Presentations

A number of WALGA Zones operate on the basis of rotating meetings through all member Local Government locations, with the host Local Government providing attendees with a 5-to-10-minute summary of current activities and strategic initiatives. This approach helps all Zone members gain a greater understanding of what is happening throughout the region. The Great Eastern Country Zone members have a standing agreement to share in-person meetings between Kellerberrin and Merredin and do not have an arrangement for a 'host' Local Government presentation.

The Executive Committee identified that it may take some time to cycle through all 16 Zone Local Governments and proposed an alternative initiative to invite a representative of Voluntary Regional Organisation of Council (VROCs) to provide an update presentation, also on a rotational basis.

ACTION:

That Great Eastern Country Zone Members are given the opportunity to present as well as inviting ROCs on a rotational basis to present from a collaborative front.

8.4.2 Post-meeting Zone Updates

The Zone Conference set out as one of its intentions to provide opportunity for Council Members that do not currently attend regular Zone meetings to hear about regional collaboration and meet with contemporaries from across the region. Keeping non-attending Council Members informed of Zone meeting outcomes and presentations was raised a potential opportunity.

The Executive Committee supported the proposal for the Zone Secretariat to prepare a summary of the outcomes of Zone meetings ('Minutes on a Page') to ensure that those Council Members not in attendance continue to receive information relating to Zone meeting outcomes. WALGA has capacity to directly email individual Council Members for this purpose.

ACTION:

That the Zone Executive Officer prepare a 'Minutes on a Page' summary of the outcomes of each Great Eastern Country Zone meeting, for distribution to all Council Members of the 16 Zone Local Governments.

8.4.3 Great Eastern Country Zone Conference Survey

The Executive Officer developed a Conference survey in consultation with the Zone Executive Committee and issued the finalised survey to all Local Government attendees of the Great Eastern Country Zone Conference held on 23 February. Survey analysis has yet to be concluded at the issue of Agenda, and a summary report will be presented at the meeting.

Noted

8.4.4 WALGA Annual Convention – Opportunity to Influence Program Content

The Executive Committee discussed the apparent difficulty that WALGA Zones experience having direct influence in establishing the theme and speakers invited to present at the annual WALGA Local Government Convention. Whilst it is acknowledged that attendees have opportunity to provide feedback via a post-Convention survey, there is no opportunity to provide input at the Convention planning stage. The Executive Committee also discussed the venue of Crown Burswood has limited room availability for additionally speaker opportunities and break out session, compared to the Perth Exhibition and Convention Centre.

The Executive Committee agreed to the action that a future Zone agenda item be developed to raise this issue and to provide State Council with comment in time for the planning of the 2024 WALGA Local Government Convention.

RECOMMENDATION

Moved: President Cr Stephen Strange
Seconded: President Cr Glenice Batchelor

That a future Zone agenda item be developed to raise this issue and to provide State Council with comment in time for the planning of the 2024 WALGA Local Government Convention.

CARRIED

8.4.5 Memorandum of Understanding - Emergency Management Resource Sharing

The Great Eastern Country Zone resolved in August 2022 to endorse a Memorandum of Understanding (MoU) for emergency management purposes:

That the Zone endorse the Memorandum of Understanding for the provision of mutual aid during emergencies and post incident recovery.

The Zone Executive Officer will arrange to distribute the MoU to each Zone Local Government for signature, and arrange for the collation of a comprehensive schedule of machinery and equipment relevant to this agreement.

Comment:

The Zone Executive requested the administration to compile a list of all machinery owned by their Local Government.

ACTION:

That the Zone Executive Officer arrange to distribute the MoU to each Zone Local Government for signature, and arrange for the collation of a comprehensive schedule of machinery and equipment relevant to this agreement

8.4.6 Disposal of e-Cigarettes (Vapes)

A Zone Local Government was recently approached buy a state agency to request the disposal of vaping implements, on the mistaken belief that Local Government has responsibility for the disposal of toxic waste items.

The following information is provided by WALGA's Waste and Environment team to inform all Zone Local Governments on this matter:

This is the information in our Consistent Communications Collective agenda (which any Local Government can join) – it includes the general advice DOE has provided Schools.

- *There has been a significant increase in the number of queries Local Government, and consequently WALGA, are receiving regarding appropriate disposal for e-cigarettes ('vapes'). This includes recent [media coverage](#).*
- *The WALGA President has put forward a clear message, through the media, that effective product stewardship is needed for these products.*
- *Government agencies involved include:*
 - *Department of Education (DoE). WALGA met with DoE to discuss vape disposal messaging provided to schools. DoE advised they have provided general advice to schools regarding vape disposal. The advice includes:*
 - * **Using caution when handling the devices as they can combust and cause burns.**
 - * **Storing devices in a cool place (for battery safety).**
 - * **Contacting a suitable waste disposal company that is capable of disposing of lithium batteries and liquid nicotine.**
 - * **Not placing vapes in General Waste bins.**
 - * **That it is the responsibility of the individual school to find a suitable waste contractor.**
 - * *That DoE is continuing to engage with key stakeholders, including WALGA, to investigate options for schools to dispose of vapes.*
 - *Department of Health is the regulatory agency for vapes but seems to have limited resources.*
 - *Department of Water and Environmental Regulation is also receiving queries regarding disposal.*
 - *Federal Department of Climate Change, Energy, the Environment and Water, which is investigating product stewardship options.*
- *WALGA has met with the federal Environment Department to determine what national approach is being taken (noting regulation on vapes may vary between jurisdictions).*
- *There appears to be one company in WA, Perth Chemical Specialists (PCS), who have the relevant licences to recycle/dispose of vapes safely. PCS is a subcontractor of Cleanaway and undertakes the unknown chemical testing for the Household Hazardous Waste Program. WALGA staff met with PCS to discuss options for recycling/recovery of vapes and associated costs.*

Vapes are another example of a product which has been placed on the market without any consideration regarding the end of life. Embedded lithium batteries that can be found in disposable vapes are likely to present a significant fire risk, as even if the vape has been fully utilised the batteries have been found to retain significant charge.

Noted

9. Zone Business

9.1 Wheatbelt Interagency Health & Wellbeing Plan

Background

WA Country Health Service-Wheatbelt contacted the Zone Executive Officer in March of 2023 (**Attachment 5**).

In summary, a working group is being formalised to develop the *Wheatbelt Interagency Health & Wellbeing Plan: Towards 2035 Working Group WAPHA membership*. WA Country Health Service are taking expressions of interest for one Local Government representative from each Zone in the Wheatbelt to sit on the working group.

The Chair seeks feedback from the Members; is there an interest from a Zone perspective and would anyone like to nominate themselves to be on the working group.

Comment:

Cr Tony Sachs corresponded with Ms Nancy Bineham, Director Strategy, Change & Service Development prior to the meeting. Ms Bineham confirmed should a representative come forward from the Great Eastern Country Zone, the group intends to meet for an hour via MSTEams, once every six weeks.

Cr Bachelor nominated Cr Alison Harris to be the Zone's representative. Cr Harris was not in attendance at the meeting.

RECOMMENDATION

Moved: President Cr Glenice Batchelor

Seconded: President Cr Kellie Mortimore

That Cr Alison Harris be the Great Eastern Country Zone has representation, pending her acceptance.

CARRIED

10. Zone Reports

10.1 Zone President Report

Zone Chair Cr Tony Sachse

The GECZ Wheatbelt Conference held in Merredin on 28th February 2023 was very attended with a quality line up of speakers on the theme of regional collaboration. Thank you to all the GECZ Local Governments for supporting the conference in such a positive way. Thanks also to WALGA staff for their expertise, guidance and work in assisting us to run the conference in such a professional way. Special thanks to James McGovern and Janine Neugebauer for their help and participation. For those attendees you should have received a short evaluation questionnaire on the conference. Your feedback would be greatly appreciated.

Janine Neugebauer's contract with WALGA has come to an end. We have thanked Janine very much for her excellent contribution to the WALGA GECZ. We all really enjoyed working with her and wish her all the best in the future. We welcome back Naoimh Donaghy to the GECZ as she has recently returned to work with WALGA.

The Executive has been working through the GECZ Strategic Priorities. At the last meeting a discussion took place on adding waste management to the priorities in the future.

It is hoped that the Hon. John Carey MLA, Minister for Housing; Local Government will be able to attend the GECZ during 2023 with particular reference to the Government Regional Officer Housing (GROW) strategies. Also invited is the Hon. Amber-Jade Sanderson MLA, Minister for Health; Mental Health Government regarding Hospitals, Aged Care and the future of the Nurse Practitioner Services. Rich Bain, Manager Heavy Vehicle Road Network Access, Main Roads, presented to the WALGA Transport and Roads Forum in March 2023. Rich has accepted an informal invitation to present on Heavy Vehicles Services to the GECZ in 2023.

Other discussions have taken place on ROC and/or Council presentations at Zone meetings. Also, for the Zone to provide a summary of the meeting outcomes to help Council Members who were unable to attend receive information.

Finally, there have been some very significant rainfall events over recent weeks and although patchy, these events have been well received by the agricultural community.

RECOMMENDATION

Moved: Cr Quentin Davies

Seconded: President Cr Wayne Della Bosca

That the Zone President's Report be received.

CARRIED

10.2 Local Government Agricultural Freight Group (LGAFG)

Zone Chair Cr Tony Sachse

The LGAFG meeting last met on 13th July 2022. A meeting in 2023 has so far not been scheduled. There is nothing else to report.

Noted

10.3 Wheatbelt District Emergency Management Committee (DEMC)

Zone Chair Cr Tony Sachse

The last Wheatbelt DEMC met in Northam on 20th October, 2022. The unconfirmed minutes of this meeting have already been distributed. The next meeting has been rescheduled to Wednesday, 17th May 2023. In alignment with the Wheatbelt DEMC strategy, to encourage partnerships and engagement across Local Government boundaries and between agencies, the Wheatbelt DEMC are holding a number of EM Days in the Wheatbelt in 2023.

The Wheatbelt Operational Area Support Group (OASG)/ISG is now only meeting as needed. There have not been any meetings over recent months.

The Wheatbelt Human Services Managers Forum last met on 4th April, 2023. The minutes are not yet available. The meeting included an Introduction by Sue Chapman (Senior Project Officer –

Wheatbelt District Leadership Group). This was an opportunity to outline the provision of support to the Wheatbelt DLG and Priority Area Working Groups (PAWG's)

There was also a Collective Impact Presentation by Jo Drayton on the Country Football Wellbeing Program (CFWP) partnership between Holyoake, WA Country Football Commission, Healthways, and the Mental Health Commission. The project is conducting a pilot over three leagues, and is quite visionary using sport as a medium to build wellbeing in this area.

Other areas of discussion included Family & Domestic Violence, Employment Transition & Pathways and Education Engagement and Retention. There was also the Identification of key project/s that demonstrate that organisations/agencies are working within the Collective Impact Framework and potential supports/resources for consideration of approval by the Wheatbelt DLG. Working parties on Mental Health and Aging were also updated. Local Government Representation has been requested on the Aging Well Priority Area Working Group. As I am the current Wheatbelt HSMF LG representative, this working group now becomes part of that representation/responsibility. An attachment of the Priority Area/Working Group/Aging Well In The Wheatbelt Summary is attached to this report (**Attachment 6**). It is suggested that a separate delegate from the GECZ be considered for the Wheatbelt HSMF as it is separate from the Wheatbelt DEMC delegation. The representation really grew out of the OASG during the COVID-19 State of Emergency.

RECOMMENDATION

Moved: President Cr Quentin Davies

Seconded: Deputy President Cr Gary Coumbe

That the Great Southern District Emergency Management Committee Report be received.

CARRIED

10.4 Regional Health Advocacy Group

Cr Alison Harris was an apology for the meeting.

Noted

10.5 WALGA RoadWise

Cliff Simpson, Regional Road Safety Advisor was an apology for this meeting.

Noted

11. Western Australian Local Government Association (WALGA) Business

11.1 2023 Local Government Honours Program

The annual Local Government Honours Program affords significant public recognition and celebration of the outstanding achievements and lasting contributions made by Elected Members and Local Government officers to their respective Councils, the WA Local Government sector, and the wider community.

Nominations for the 2023 Honours Program are open now.

There are six awards in the 2023 Program:



1. Local Government Medal
2. Life Membership
3. Eminent Service Award
4. Merit Award
5. Local Government Distinguished Officer Award
6. Young Achievers Award

Nominations will close at **5:00pm on Friday, 9 June** and the awards will be presented as part of the WALGA Annual General Meeting held on Monday, 18 September.

For more information or to submit a nomination, visit the WALGA website or contact Kathy Robertson, Executive Officer Governance, on 9213 2036 or via email at honours@walga.asn.au.

Noted

11.2 State Councillor Report

Cr Stephen Strange

Cr Stephen Strange gave a verbal report.

RECOMMENDATION

Moved: President Cr Stephen Strange

Seconded: President Cr Quentin Davies

That the State Councillor Report be received.

CARRIED

11.3 WALGA Status Report

By James McGovern, Executive Officer

COMPLETE ZONE STATUS REPORT April 2023

Zone	Agenda Item	Zone Resolution	WALGA Response	Update	WALGA Contact
Great Eastern C	1 March 2023 State Council Agenda Item 7.1 Proposed Advocacy Position on Constitutional Recognition of Aboriginal and Torres Strait Islander People	That the Great Eastern Country Zone does not believe that WALGA should actively participate in the National Referendum on a Voice to Parliament.	State Council Resolution That WALGA: 1. Supports respectful conversations about constitutional recognition of Aboriginal and Torres Strait Islanders and the Voice to Parliament. 2. Requests that the Commonwealth Government ensure that Local Governments and communities are kept informed on the proposal. COMPLETE	April 2023	Nicole Matthews Executive Manager Policy nmatthews@walga.asn.au 9213 2039
Great Eastern C	13 February 2023 Zone Agenda Item 13.1 Review of Audit Process by the Office of Auditor General	That the Great Eastern Country Zone supports a comprehensive review, prioritised, and led by WALGA, of the audit process managed by the Office of the Auditor General.	A number of Local Governments have raised concerns with the OAG audit performance for 2021/22 either formally through Zones or directly to WALGA. As a consequence, WALGA in conjunction with LG Professionals is carrying out a survey of the Local Government sector on their experiences with the Audit process. Results will be analysed and reported to WALGA's Governance and Organisational Services Policy Team for action consideration.	April 2023	James McGovern, Zone Executive Officer
Great Eastern C	November 2022 Zone Minutes Item 13.1 Firearms Use on State Barrier Fence Reserve	That WALGA correspond with the Department of Primary Industries and Regional Development and inform the Zone on feedback on concerns raised including: - The use of firearms is an important and necessary and efficient control measure in the management of wild dogs; - That firearm use in some circumstances is a warranted for reasons personal protection of Licensed Pest Management Technicians; and	WALGA corresponded with DPIRD on the terms of the Zone resolution but have yet to receive a satisfactory response. DPIRD has advised that firearms can be used on occasion where an animal welfare issue arises. WALGA will continue to seek clarity on the use of firearms on the State Barrier Fence Reserve.	April 2023	James McGovern, Zone Executive Officer



		<ul style="list-style-type: none">- Clarity be sought on the DPIRD policies associated with issuing permits for access to the State Barrier Fence Reserve.			
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Noted

11.4 Review of WALGA State Council Agenda – 3 May 2023

Background

WALGA State Council meets five times each year and as part of the consultation process with Member Councils circulates the State Council Agenda for input through the Zone structure.

The full State Council Agenda can be found [here](#).

The Zone is able to provide comment or submit an alternative recommendation that is then presented to the State Council for consideration.

Matters for Decision

7.1 Best Practice Governance Review – Feedback on Governance Model

Executive Summary

- State Council commissioned the Best Practice Governance Review with the appointment of a Steering Committee in March 2022.
- The Steering Committee, which met nine times over the course of the project to date and reported back to State Council several times, finalised its [Final Report](#) in February 2023.
- On the basis of member feedback, the Steering Committee recommended Model 1 as the alternate governance model, which would result in the retention of State Council and Zones and the creation of a Board, with the majority of members elected from and by State Council.
- At their March 2023 meeting, State Council resolved to seek feedback from Members on the proposed model.
- To facilitate feedback from Members, the Final Report was distributed and a webinar was held, which was attended by 48 Local Government leaders;
- Feedback was received from 17 Member Local Governments, with nine Member Local Governments expressing support for the proposed Model 1, and eight Member Local Government outlining concerns with the proposed Model 1 or expressing support for the Current Governance Model.
- Concerns with the proposed Model 1 mostly related to concerns around representation at Board level, including the potential for representational imbalances, and the appointment of independent members, including a suggestion that independent members would be more likely to be metropolitan based.
- Next steps for the project are for two sets of constitutional amendments to be presented to State Council at the July 2023 meeting with the view that these amendments would be presented to Members at the 2023 Annual General Meeting.

WALGA Recommendation

That:

1. **This report summarising feedback from Members on the Best Practice Governance Review Final Report be received; and**
2. **Two sets of constitutional changes be developed for consideration by State Council at the July 2023 meeting to be put to the 2023 Annual General Meeting, that:**
 - a. **Give effect to the revised Model 1, as per the Best Practice Governance Review Final Report; and**
 - b. **Refine the constitution to address inconsistencies and other issues while maintaining the current governance model.**

7.2 Department of Local Government, Sport and Cultural Industries' Child Safe Awareness Policy Template

Executive Summary

- Since 2020, the State Government has consulted with the Local Government sector in relation to Recommendation 6.12 from the Royal Commission into Institutional Responses to Child Sexual Abuse (Royal Commission), which recommended that Local Governments should designate Child Safety Officers, with support from governments at the National and State level.
- In 2022, the Department of Communities (DoC) facilitated a series of co-design sessions which involved 35 representatives from Local Government, the Commissioner for Children and Young People (CCYP), WALGA, and the Department of Local Government, Sport and Cultural Industries (DLGSC) to develop the Child Safe Awareness Policy Template for Local Government (the Policy) to support implementation of Recommendation 6.12.
- The Policy supports initial action by Local Governments in addressing Recommendation 6.12, and forms part of the broader environment of child safe reforms developed out of the findings of the Royal Commission that will impact Local Government.
- DLGSC is seeking WALGA support for the Policy.
- WALGA considers support for the Policy is appropriate but notes that Local Governments will require ongoing support and resourcing assistance consistent with WALGA's *Advocacy Position 3.10.2 Child Safeguarding*.
- WALGA will continue to advocate to the State Government for the Policy to be considered in the context of a broader implementation plan for all the Royal Commission's recommendations relevant to Local Government.

WALGA Recommendation

That State Council:

- 1. Supports the draft Child Safe Awareness Policy Template being provided to Local Governments to assist with their implementation of Recommendation 6.12 of the Royal Commission (Child Safety Officers in Local Government); and**
- 2. Notes the Department of Local Government, Sport and Cultural Industries' commitment to providing ongoing support and resourcing assistance to Local Governments to assist with implementation of the draft Child Safe Awareness Policy Template and other relevant actions relating to child safeguarding, through the Child Safeguarding Implementation Unit.**

7.3 Abandoned Shopping Trolleys Advocacy Position

Executive Summary

- Abandoned trolleys in the public domain, create safety hazards for pedestrian and vehicular traffic and negatively impact public amenity and the natural environment.
- Some retailers prioritise their civic and social responsibilities, however the cost of physically retrieving illegally dumped trolleys is now substantially more than the cost of replacing trolleys.
- The absence of economic or legally enforceable imperative means retailers are increasingly not responding to this issue within reasonable timeframes, if at all.
- In response to community expectations, Local Governments bear the increasing cost burden to remove, impound and eventually dispose of abandoned trolleys.
- The *Public Spaces (Unattended Property) Act 2021* (NSW), presents an example of how legislation can be used to address issues arising from shopping trolleys.

WALGA Recommendation

That State Council endorse the following position on Abandoned Shopping Trolleys:

The Local Government Sector advocates for State Government to consult with the Sector and prioritise legislative reforms that require retailers to contain shopping trolleys within shopping centre property boundaries, inclusive of enforcement and modified penalty mechanisms that are a realistic economic imperative for retailers to comply with containment requirements.

7.4 Speed Management Reform Advocacy Position

Executive Summary

- WALGA's existing policy on speed management is narrow in scope and is inadequate for advocating the varying needs of the Local Government sector.
- Speed management is an important tool for Local Governments, for managing the safety performance of local roads and to help create healthy, vibrant, and connected communities.
- Changing speed limits is an important element of speed management but the application process can be difficult and Local Governments currently have limited influence in the determination of speed limit changes on local roads.
- A contemporary advocacy position on speed management will enable WALGA to advocate for reforms that are needed to better reflect the diverse needs of Local Governments and enable effective and responsible management of travel speeds on local roads.

WALGA Recommendation

That the Speed Management Advocacy Position as follows, be endorsed:

- 1. That WALGA supports Local Governments wishing to manage travel speeds, including speed limit changes, as a means of achieving the many health, social and environmental benefits for communities.***
- 2. That Main Roads WA (MRWA) retain the overarching authority for speed limit setting/zoning.***
- 3. That Main Roads WA speed zoning policies and processes be reformed so that Local Governments are more influential in the determination of speed limit decreases or increases for local roads.***
 - a. This will include applications that are deemed to be approved when the application:***
 - i. is based on assessments by competent Local Government practitioners,***
 - ii. contains evidence-based identification of the benefits,***
 - iii. contains preliminary designs for infrastructure safety upgrades associated with applications to increase speed limits, and***
 - iv. includes an engagement strategy for managing community and stakeholder expectations.***
 - b. Allows for Main Roads WA to decline an application, within a mutually agreed timeframe, on the basis that it:***
 - i. does not meet the above criteria, and***
 - ii. provides specific evidence for declining the application.***
- 4. The WALGA seeks to work with Main Roads WA and other stakeholders, to develop a speed management guide for Local Governments.***

7.5 State Road Funds to Local Government Agreement 2023/24 to 2027/28

Executive Summary

- The State Road Funds to Local Government Agreement (Agreement) provides funding for Local Governments to improve and maintain the local road network.
- The new Agreement continues to provide 20% of vehicle license fee revenue collected by the State Government to be applied to Local Government roads and paths.
- The proposed Agreement is for a five-year term from 2023/24 to 2027/28.
- The overall structure and intent of the Agreement remains largely unchanged from the previous Agreement.
- Commitments to road safety, aboriginal employment and recycled materials have been expanded.
- The Agreement was developed through consultation with Local Government members of the State Road Funds to Local Government Advisory Committee (SAC), Main Roads WA and Regional Road Group representatives.

WALGA Recommendation

That the State Roads Funds to Local Government Agreement 2023/24 – 2027/28 be endorsed.

Policy Team Reports

8.1 Environment and Waste Policy Team Report

The Environment and Waste Policy Team includes the following subject areas:

- *Climate change*
- *Native vegetation and biodiversity*
- *Biosecurity*
- *Water resources*
- *Sustainability*
- *Waste management*

WALGA Recommendation

That the matters considered by the Environment and Waste Policy Team be noted.

8.2 Governance and Organisational Services Policy Team Report

The Governance and Organisational Services Policy Team includes the following subject areas:

- *Employee Relations*
- *Governance*
- *Strategy and Association Governance*
- *Training*
- *Regional Capacity Building / Local Government Reform*



WALGA Recommendation

That State Council:

- 1. Retain, without amendment, Advocacy Positions:**
 - (a) 2.1.14 Financial Assistance Grants**
 - (b) 2.4.4 Remote Area Tax**
 - (c) 2.5.21 Conduct of Postal Elections**
 - (d) 2.5.39 Exemption from ASSB124**
- 2. Delete Advocacy Positions:**
 - (a) 2.5.14 Tender Threshold**
 - (b) 2.5.26 Simple and Absolute Majority**
- 3. Notes the GOS Policy Team's consideration of WALGA AGM 2022 Item 3.12.1 Abandoned Shopping Trolleys.**

8.3 Infrastructure Policy Team Report

The Infrastructure Policy Team includes the following subject areas:

- *Roads and paths*
- *Road safety*
- *Transport*
- *Freight*
- *Utilities (including telecommunications and underground power)*

WALGA Recommendation

That the matters considered by the Infrastructure Policy Team be noted.

8.4 People and Place Policy Team Report

The People and Place Policy Team includes the following subject areas:

- *Community*
- *Emergency Management*
- *Planning and Building*

WALGA Recommendation

That the matters considered by the People and Place Policy Team be noted.

Matters for Noting/Information

- 9.1 2023 Policy Priorities
- 9.2 Local Emergency Management Arrangements (LEMA) Review Project
- 9.3 Submission to the Independent Review of WA's COVID-19 Management and Response
- 9.4 Submission to the DWER E-waste to Landfill Ban Consultation Paper
- 9.5 Report Municipal Waste Advisory Council (MWAC)
- 9.6 March 2023 Economic Briefing



RECOMMENDATION

That the Great Eastern Country Zone

1. Supports all Matters for Decision as listed above in the May 2023 State Council Agenda.
2. Notes all Matters for Noting and Organisational Reports as listed in the May 2023 State Council Agenda.

Moved: President Cr Kellie Mortimore

Seconded: President Cr Glenice Batchelor

CARRIED

12. Emerging Issues

12.1 Live Export

President Cr Quentin Davies, Shire of Wyalkatchem

RECOMMENDATION

That the Great Eastern Country Zone:

1. Consult with other affected Zones to assess their status on this issue
2. Write to the Premier and Minister for Agriculture and request their strong public advocacy to retain live sheep export.

Moved: President Cr Glenice Batchelor

Seconded: President Cr Mark McKenzie

CARRIED

13. Date, Time, and Place of Next Meetings

The next Great Eastern Country Zone meeting will be held on Monday, 19 June 2023 commencing at 9.30am. This meeting will be hosted by the Shire of Kellerberrin.

14. Closure

There being no further business the Chair declared the meeting closed at 1.17pm.

9.4.5 Proposed Amendment Local Law

**LOCAL GOVERNMENT ACT 1995
BUSH FIRES ACT 1954
DOG ACT 1976**

SHIRE OF KONDININ

AMENDMENT LOCAL LAW 2023

Under the powers conferred by the *Local Government Act 1995*, the *Bush Fires Act 1954*, the *Dog Act 1976* and all other powers enabling it, the Council of the Shire of Kondinin resolved on _____ to adopt the following local law.

1. Citation

This local law may be cited as the *Shire of Kondinin Amendment Local Law 2023*.

2. Commencement

This local law comes into operation 14 days after the date of its publication in the *Government Gazette*.

3. Bush Fire Brigades Local Law 2022 amended

The *Shire of Kondinin Bush Fire Brigades Local Law 2022* published in the *Government Gazette* on 10 November 2022 is amended as follows –

- (a) in clause 6((6) replace “; and” with a full stop;
- (b) delete clause 7(2)(e);
- (c) delete clause 8; and
- (d) delete clause 9.

4. Dogs Local Law 2023 amended

The *Shire of Kondinin Dogs Local Law 2022* published in the *Government Gazette* on 10 November 2022 is amended as follows –

- (a) in clause 3.3(3)(a)(iii) replace the full stop with a semi-colon;
- (b) in clause 7.2(2) by replacing the reference “5.1(2)” with the reference “6.2(2)”.

5. Public Places and Local Government Property Local Law 2023 amended

The *Shire of Kondinin Public Places an Local Government Property Local Law 2022* published in the *Government Gazette* on 10 November 2022 is amended as follows –

- (a) in clause 2.7 –
 - (i) in subclause (1)(g)(iii) after the semi colon and insert the word “and”;
 - (ii) in subclause (1)(h) replace “; and” with a full stop; and
 - (iii) delete subclause (1)(i);
- (b) in clause 4.8(b) after the word “dog” insert the words “or cat”;
- (c) in clause 7.2(2)(a) after the word “animal” insert the words “other than a cat”;
- (d) in clause 9.2 after the word “thoroughfare” in the opening line delete the word “or”;
- (e) in clause 9.5 delete subclauses (b) and (c) and insert –
 - (b) if the value of the property is reasonably believed to have a realisable value more than 1% of the amount prescribed by regulation 30(3) of the *Local Government (Functions and General) Regulations 1996* but not exceeding the amount prescribed, by handing the property to the Western Australian Police Force, or
 - (c) if the property is reasonably believed to be of less value than that in subclause (b) –
 - (i) by donation to a not for profit body incorporated under the *Associations Incorporations Act 2015*; or
 - (ii) if likely to be of no interest to a not for profit body, in any manner he or she thinks fit.
- (f) in clause 11.3(2)(b) delete the words “do the”
- (g) in Schedule 1 Item 34, delete “5.8(f)” and insert “6.8(f)”

Dated _____

The Common Seal of the Shire of Narrogin was affixed by authority of a resolution of Council in the presence of –

R.K. MOURITZ, President

D.N. BURTON, Chief Executive Officer

Community Grant Program		COM-002
Responsible Department	Chief Executive Officer	
Policy Owner	4089	
Resolution Date	15 February 2023 ??	
Old Policy Number		
Register of Delegations	N/A	
Relevant Legislation	Local Government Act 1995	
Link to Strategic Plan	1.5 Support local volunteer organisations- Community Grant Scheme is well subscribed.	
Guidelines	Community Grant Program Guidelines	
Next Review	Bi-annually	

Objective: To enable Council to plan its support of community projects.

Scope: The Community Grants Program (CGP) provides funding support up to a maximum of \$7,500 each, to enable Shire of Kondinin community-based organisations to develop projects that increase participation and benefit the community. The total amount Council will allocate to the Community Grants Program is \$80,000.00 each financial year.

Guidelines

Selection Criteria: Each application will be assessed against the following criteria:

- Does the project meet a community need?
- Does the project benefit a sufficiently broad, or diverse, target group?
- Does the organisation have the capacity to undertake and manage the project?
- Does the application represent value for money?
- Collaborative community-wide projects are encouraged.

Funding Rounds:

The Community Grants Program is allocated from within Council's general revenue budget each year with applications being called at the **end of March and closing at the start of May**. Funding will be announced following approval by Council in May.

Eligible Projects can include:

- Printing of posters/flyers;
- Advertising and promotion;
- Purchase of equipment required for the ongoing operations e.g. shade tent, tables, chairs, computers etc.;
- Assistance towards workshops/projects that benefit the Shire of Kondinin community;
- Entertainment;
- Costs associated with public events or functions in the Shire of Kondinin; and
- Infrastructure improvements e.g. fencing, lighting, storage etc.

What items will not be funded

- Assistance towards Council's rates or standard user agreements;
- Assistance towards financial operating costs of the applicant e.g. rent, staff wages, utility costs, insurance, stationery, etc;
- **No replacement & repairs of consumables: including technology items;**
- Food, drinks and alcohol;
- Interstate and overseas travel;
- Conference attendance;
- Projects that have already commenced;
- Projects not based in the Shire of Kondinin;
- Projects that duplicate an existing or similar project/service within the community; **unless support can be shown of approval by business & council approval**

(The Community Resources in the Shire usually service their own community, as this will not be considered as completing business);

- An item benefiting an individual; and
- Subsidising sporting club fees.

Who can apply?

Eligible groups and organisations must be:

- an incorporated not-for-profit organisation; or sub-committees organisations are eligible to apply, subject to providing a letter of support from the main organisation body; or
- An unincorporated not-for-profit organisation, applying through the auspice of a not-for-profit incorporated body or Local Government authority.

Who can not apply?

- an unincorporated organisation without an auspice arrangement;
- an individual;
- a commercial for-profit organisation;
- Government Agencies (including Education, Health, Transport etc.); or
- Organisations that have not provided an acquittal from a previous Community Grants Program are ineligible to apply until the required documentation has been submitted.

Advertising

Each financial year, at the beginning of March, Council shall advertise its intention to consider applications for financial assistance under the Community Grants Program.

The advertisements will be placed in:

- At least 1 edition of the 'Kondinin Calendar';
- The Hyden/Karlgarin Householder;
- The monthly Shire newsletter, 'THE ECHO';
- The Shire of Kondinin website;
- The Shire of Kondinin Facebook page; and
- Shire information boards.

Community Grants (maximum \$7,500 regardless if your Organisation is registered for GST)

Applicants can request funding of up to \$7,500 from Council per grant round. All requests for funding over \$5,000 require a cash component of 25% from the applicant or a confirmed source of funding.

Timeline of Project

- **No items can be purchases before the adoption of annual budget (unless approve by the Shire's CEO)**
- Applications must be received by 4:30 pm on the closing date of the Community Grant Program, late applications will not be considered;
- The project must take place within the financial year unless an extension of time is approved by Council;
- Approval must be obtained from Council for any significant change to the project;
- Grant allocations that are not accessed within 9 months from notification of success will be forfeited (unless an extension before the 9 months is completed has been approved by the Shire CEO).

Administration of Financial Assistance

Financial assistance approvals shall be administered by the following:

- Where financial assistance is approved by the Council for projects that are dependent upon funding from an outside source, Eg: Department of Local Government, Sport and Cultural Industries; Lotterywest etc, and that funding application is unsuccessful, then the approved Council CGP funds may be accrued in the following financial year, subject to a written request to the CEO.
- Where an application for accrued funding is again unsuccessful, the approved Council CGP monies shall be withdrawn and may be made available to other community organisations.
- Where funding from an outside source is approved any CGP monies (as approved) shall be paid to the applicant, on the acquittal of the project.
- Where the level of financial assistance from an outside source has been reduced below that requested by an organisation, the organisation shall be required to demonstrate its ability to meet the funding shortfall. In such circumstances, the council will reassess the viability of the project and may, if project viability is not substantiated, revoke the grant approval. Those funds may then be made available to other applicant organisations.
- Where requests for financial assistance are received outside the deadline for receipt of applications they shall not be accepted and the applicants will be advised accordingly.
- Projects that can demonstrate benefits to the wider community will be preferred. Those projects that can demonstrate contributions from the community or community groups will be preferred.
- Applications that have multiple funding sources/financial contributors will be preferred.
- Applications for the Shire of Kondinin Community grants program received from individuals will not be accepted.
- Projects requesting funding for salary costs, administration support and recurring expenditure are ineligible for support.
- Council's decision is FINAL and applicants may not request an appeal.
- Organisation can be the auspicing group for more than one application.

Payment

Payment of the CGP funds to successful community organisations will be made once the evidence of the project is provided. Requests for extensions and justification must be provided in writing to the CEO for approval.

This information is to be disseminated to the Shire of Kondinin Councillors. The Community Grants Program is to be reported via Shire's Annual Report.

End of Policy

9.8.1 QS Report V.1 2020 (Extension)
QS Report V.2 2022 (Extension)
QS Report V.3 2023 (New Build)
Site Costing Plan (Extension)
Site Costing Plan (New Build)
QS Report V.1
Plans from Architects
Sports and Recreation Facilities Plan 2021-2031
Sports and Recreation Facilities Plan 2021-2031 (Action List)

Hyden Recreation Centre



Opinion of Probable Cost (Draft)

17 May 2023

At

**38 Marshall Street
Hyden, WA 6359**

**Slavin Architects Pty Ltd
Architect
1C, Pearse Street
North Fremantle, WA 6159**

**Wilde and Woollard (WA)
Cost Consultants & Quantity Surveyors
Unit 1, 1008 Wellington Street
West Perth, WA 6005**

SUMMARY

PROJECT: Hyden Recreation Centre

DETAILS: Opinion of Probable Cost (Draft) - May 2023

BUILDING: Proposed Re-development Work

Code	Scope Of Work	Total Cost
RC	Recreation Centre Redevelopment	11,417,938
NOTE: ALL COSTS EXCL. GST		
ANTICIPATED TOTAL PROJECT COST		11,417,938

REPORT DETAILS

PROJECT: Hyden Recreation Centre

DETAILS: Opinion of Probable Cost (Draft) - May 2023

BUILDING: Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
RC Recreation Centre Redevelopment					
<u>SITE PREPARATIONS</u>					
1	Allow for site preparation		Item		146,000
2	Provision for excavation in rocks		Excl.		Excluded
<u>DEMOLITIONS AND ALTERATIONS</u>					
<u>General Items</u>					
3	Allow for the removal of asbestos related materials found on site		Excl.		Excluded
4	Allow for temporary partitions / barrier if necessary		Item		5,000
5	Allow for removal of sundry items prior to commencing the demolition works		Item		3,500
<u>Whole Structure</u>					
6	Demolish existing recreation centre and change rooms		Item		107,700
7	Demolish existing tennis club and toilet area		Item		61,700
<u>Generally</u>					
8	Allow for general making good all works disturbed by the demolitions and alterations		Item		17,800
<u>NEW WORKS</u>					
9	Gym	104	m2	1,810.00	188,240
10	E.O Gym equipment & furniture		Excl.		Excluded
11	Change room	221	m2	2,600.00	574,600
12	Wet areas	104	m2	2,540.00	264,160
13	Toilet	63	m2	2,460.00	154,980
14	Bar & Kitchen	72	m2	3,330.00	239,760
15	Function Room	329	m2	1,980.00	651,420
16	Offices & Meeting Room	39	m2	1,740.00	67,860
17	Store	66	m2	950.00	62,700
18	Common Area	38	m2	1,590.00	60,420
<u>ROOF LEVEL</u>					
19	Roof complete including structure, roof covering, roof plumbing	2,153	m2	610.00	1,313,330

REPORT DETAILS

PROJECT: Hyden Recreation Centre

DETAILS: Opinion of Probable Cost (Draft) - May 2023

BUILDING: Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
RC	Recreation Centre Redevelopment				<i>(Continued)</i>
20	Do. but circular	325	m2	732.00	237,900
21	Extra for soffit lining	1,442	m2	273.00	393,666
	<u>ENGINEERING SERVICES</u>				
22	Hydraulics Services		Item		152,800
23	Distribution board		Item		35,000
24	Electrical services		Item		391,000
25	Air Conditioning		Item		177,450
26	Ventilation		Item		95,382
27	Fire protection		Item		25,900
28	Builder's Works in connection with services		Item		87,800
	<u>EXTERNAL WORKS</u>				
29	Concrete paving to verandah	1,280	m2	95.00	121,600
30	New grass bank	1,824	m2	65.00	118,560
31	Retaining walls, approx. 1m high	222	m	455.00	101,010
32	Retaining concrete footing	222	m	125.00	27,750
33	Galvanised balustrading, approx. 1000 high	222	m	650.00	144,300
	<u>EXTERNAL SERVICES</u>				
34	Provision for sewerage		Item		7,000
35	Provision for cold water supply		Item		5,000
36	Provision for fire services		Item		9,000
37	Provision for gas supply		Excl.		Excluded
38	Provision for storm water drainage		Item		84,000
	<u>External Electrical Services</u>				
39	Power conduits and pit systems		Item		7,000
40	Power upgrade		Excl.		Excluded
41	Builder's work		Item		700
	<u>ON COST</u>				

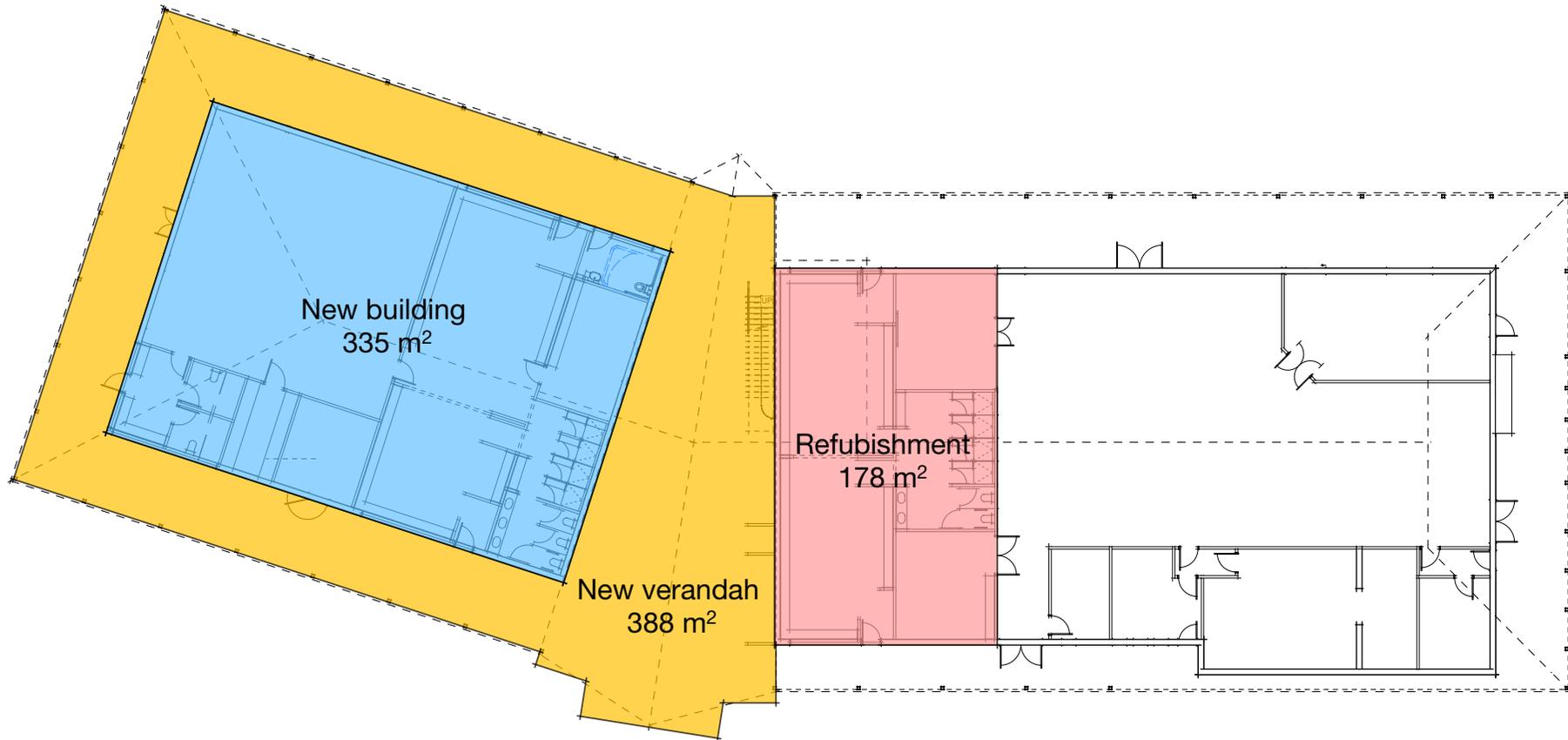
REPORT DETAILS

PROJECT: Hyden Recreation Centre

DETAILS: Opinion of Probable Cost (Draft) - May 2023

BUILDING: Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
RC	Recreation Centre Redevelopment				<i>(Continued)</i>
42	Preliminaries, 18%		Item		1,106,000
43	Design Contingency, 10%		Item		725,000
44	Contract Contingency, 5%		Item		399,000
	ESTIMATED TOTAL BUILDING COST IN PERTH		\$\$		8,225,988
45	Locality Allowance, 25%	8,225,988	Item	0.25	2,056,497
	ESTIMATED TOTAL BUILDING COST IN HYDEN		\$\$		10,282,485
46	Escalation (based on Construction start December 2024)		Item		989,453
47	GST		Excl.		Excluded
48	Professional Fees		Excl.		Excluded
49	Furniture & Equipment		Excl.		Excluded
Recreation Centre Redevelopment TOTAL					11,417,938



REFURBISHMENT	1500 @	178	=	267,000
VERANDAH	1000 @	288	=	388,000
NEW BUILDING	2500 @	335	=	837,000
TOTAL			=	1.492M

(+15% prelims)	=	1.715M
(+10% design cont.)	=	1.887M
(+5% contract cont.)	=	1.98M

(+25% locality allow.) = 2.46M

GROUND FLOOR AREA
1:200

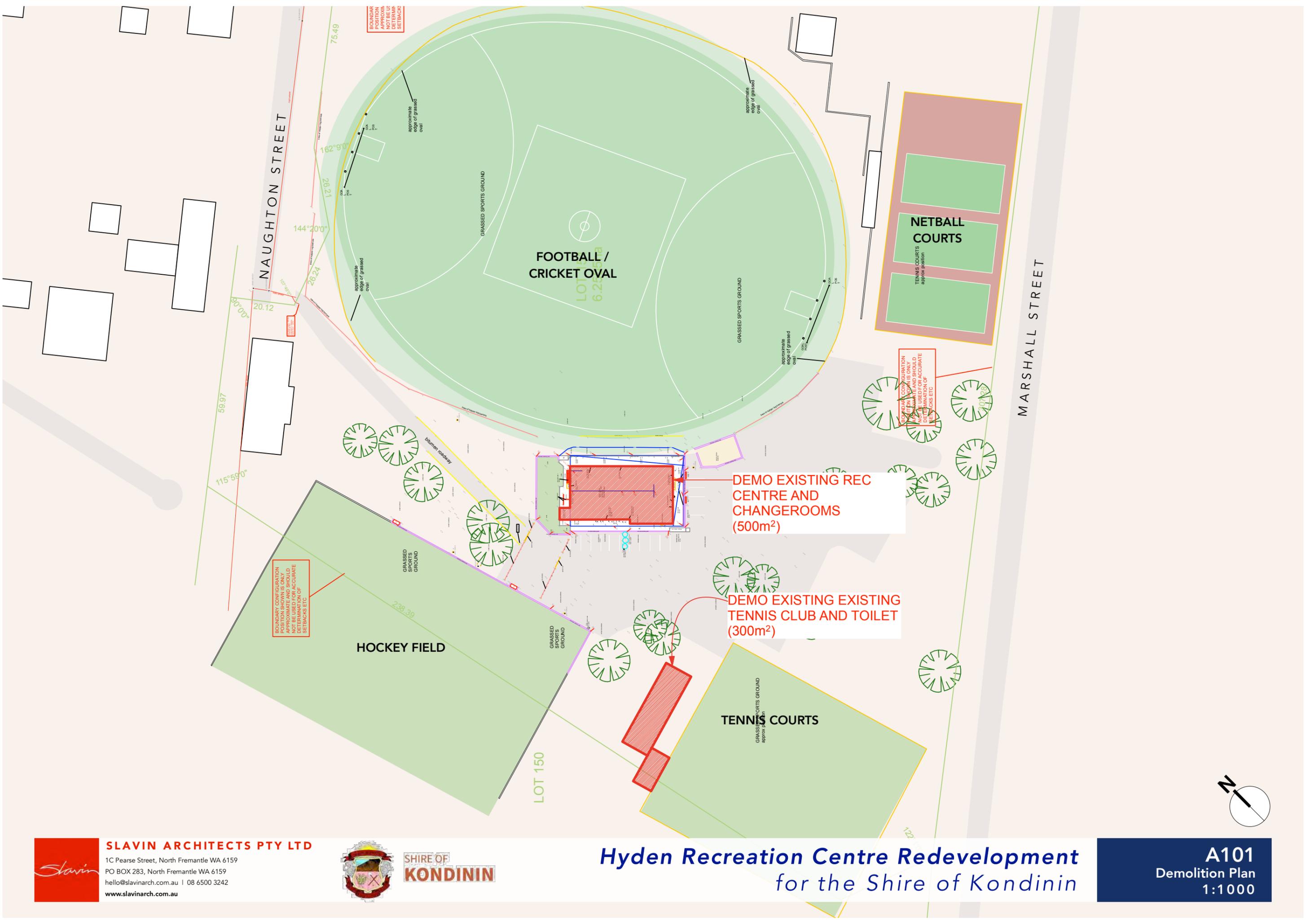
ISSUE	DATE	REVISION
Project Hyden Recreation Centre Redevelopment		
Address 38 Marshall Street Hyden WA 6359		
This Sheet Proposed Floor Plan Areas		
Plot Date	28/8/20	
Scale @A3	1:200	Rev
Project No	202004	

Drawing No **A210**

DESIGN DRAWING ONLY
NOT FOR CONSTRUCTION
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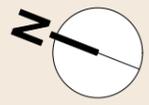
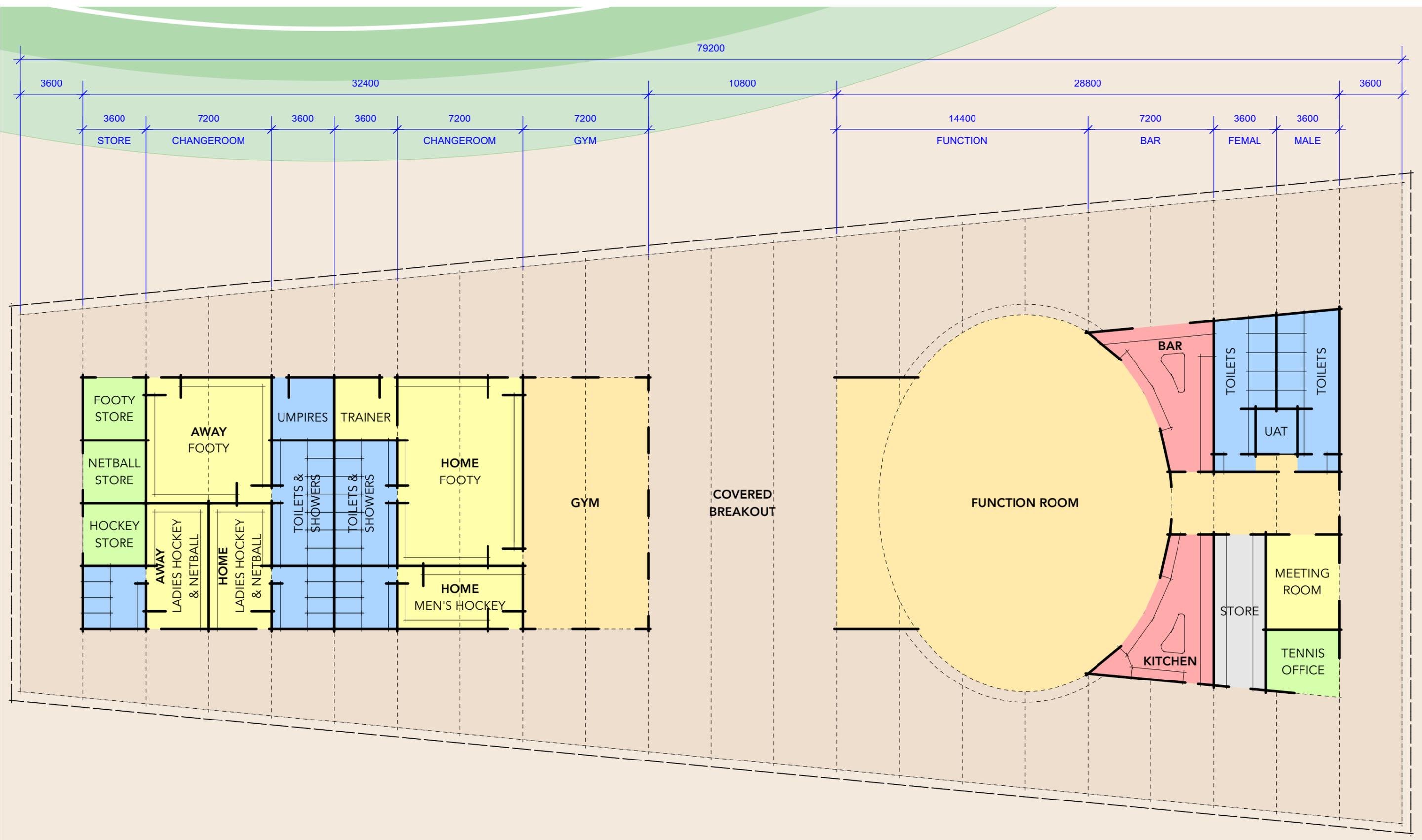


SLAVIN ARCHITECTS PTY LTD
10 Pearce Street, North Fremantle WA 6155
7 The Arcade, South Perth WA 6148
hello@slavinarch.com.au
www.slavinarch.com.au
(08) 9398 3242





ELEMENT	AREA (m ²)
New Conc Verandah	1280
New Roof	2300
Changeroom Building	466
- Changerooms	220
- Wet areas	105
- Gym	105
- Store	36
Function Building	500
- Toilets	60
- Bar & Kitchen	60
- Function Room	330
- Offices	35
- Store	15
TURFED BANK	1800



HYDEN RECREATION PRECINCT PRESENTATION

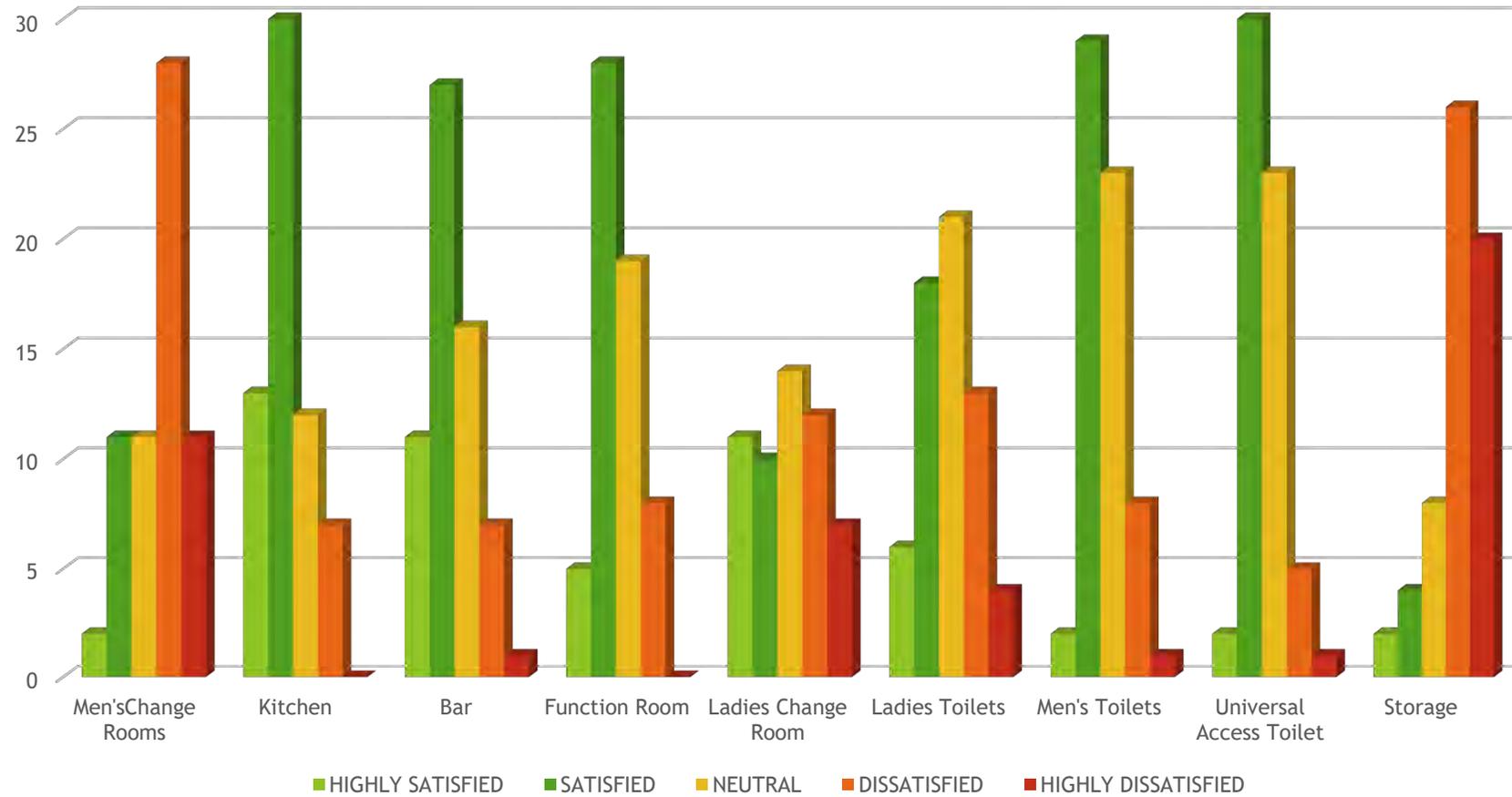
Community Meeting 18th October 2022

Hyden Recreation Building - Overview

- First constructed 1980
- Stage 1 renovations undertaken in 2016 replacing roof, enlarging and upgrading the bar and kitchen area, installation of a Universal Access Toilet and extending and upgrading the men's toilets and ladies toilets and change rooms
- Stage 2 of the renovations were to be undertaken at a later date to include a gym, new home and away change rooms and improved storage space
- Architects engaged in 2019 to prepare plans for the Stage 2 renovation / extension and associated engineering documentation and costings
- Various meetings have been held to finalise scope for extension however consensus not yet reached
- Survey undertaken in October 2022 in response to decision to seek greater community feedback prior to finalising scope

Hyden Recreation Building - Survey Results

HYDEN RECREATION CENTRE



Hyden Recreation Building - Survey Results

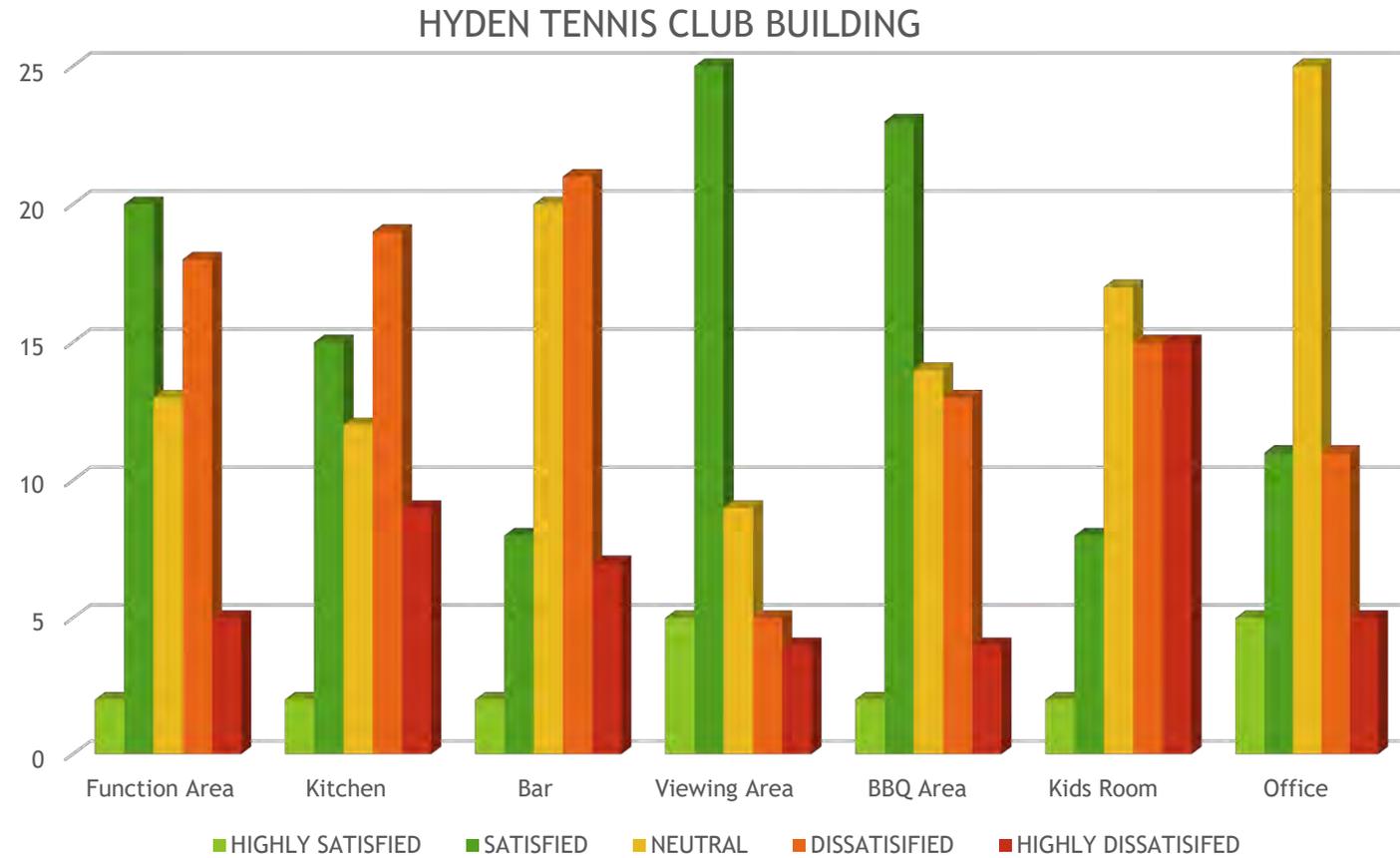
- Majority of respondents dissatisfied with the Men's Change Rooms
- Majority of respondents satisfied with the Kitchen
- Majority of respondents satisfied with the Function Room
- Majority of respondents satisfied with the Bar Area
- No clear majority of opinion on the Ladies Change Room with 'neutral' receiving the highest response
- No clear majority of opinion on the Ladies Toilets with 'neutral' receiving the highest response
- Most respondents were either satisfied or neutral with the Men's Toilets
- Most respondents were either satisfied or neutral with the Universal Access Toilet
- Majority of respondents dissatisfied with the Storage Space

- **BASED ON SURVEY FEEDBACK MEN'S CHANGE ROOMS, LADIES CHANGE ROOMS/TOILETS AND STORAGE SPACE KEY ELEMENTS TO BE CONSIDERED IN ANY RENOVATION / EXTENSION / NEW BUILD**

Hyden Tennis Club Building - Overview

- First constructed 1978
- Renovations and additions carried out in 1998 and patio extension in 2012
- A new roof is currently proposed over building and Shire waiting on engineering plans to seek quotations
- New tennis court resurfacing for all 8 courts and dedicated hot shots courts at hit up wall proposed for April 2023

Hyden Tennis Club Building - Survey Results

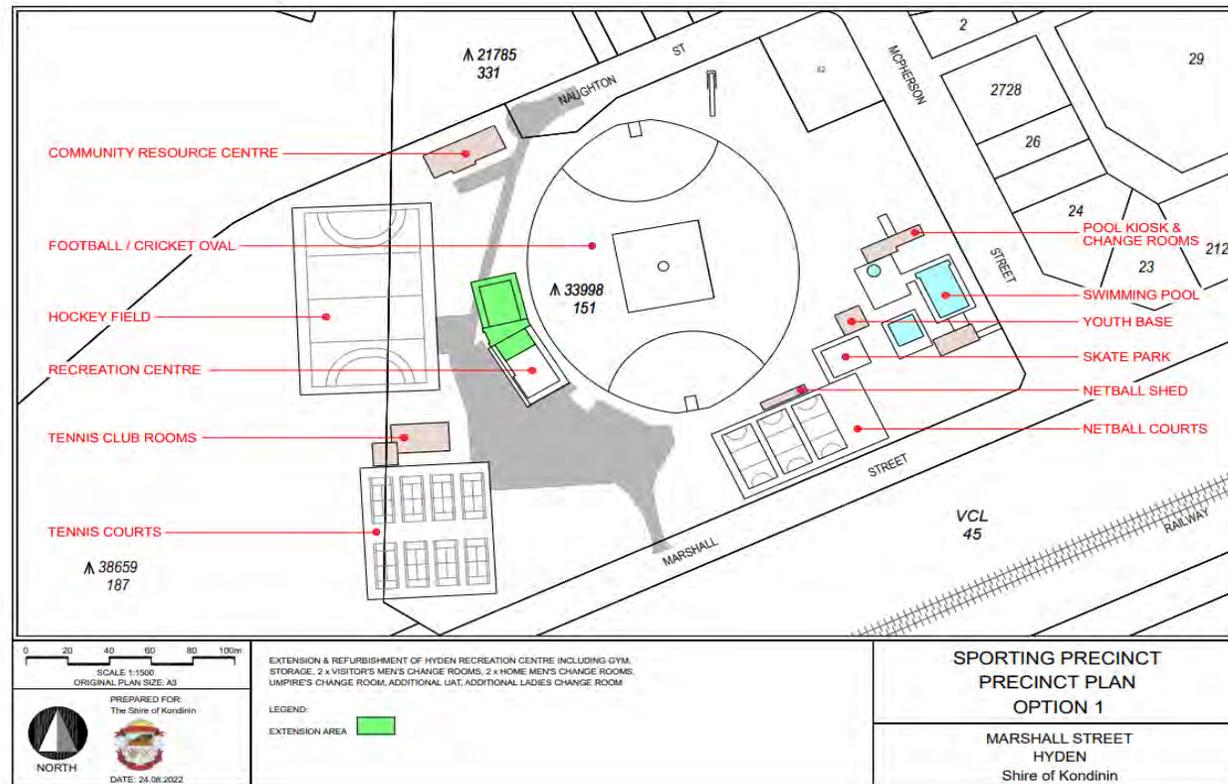


Hyden Tennis Club Building- Survey Results

- Most respondents were satisfied with the Function Room with many not satisfied
 - Majority of respondents dissatisfied with the Kitchen Area
 - Most respondents either neutral or dissatisfied with the Bar Area
 - Majority of respondents satisfied with the Viewing Area
 - Majority of respondents satisfied with the BBQ Area
 - Most respondents were neutral dissatisfied or very dissatisfied with the Kids Room
 - Majority of respondents neutral about the office
-
- **BASED ON SURVEY FEEDBACK KIDS ROOM, FUNCTION ROOM & BAR KEY AREAS OF CONSIDERATION IN ANY RENOVATION / EXTENSION / NEW BUILD**

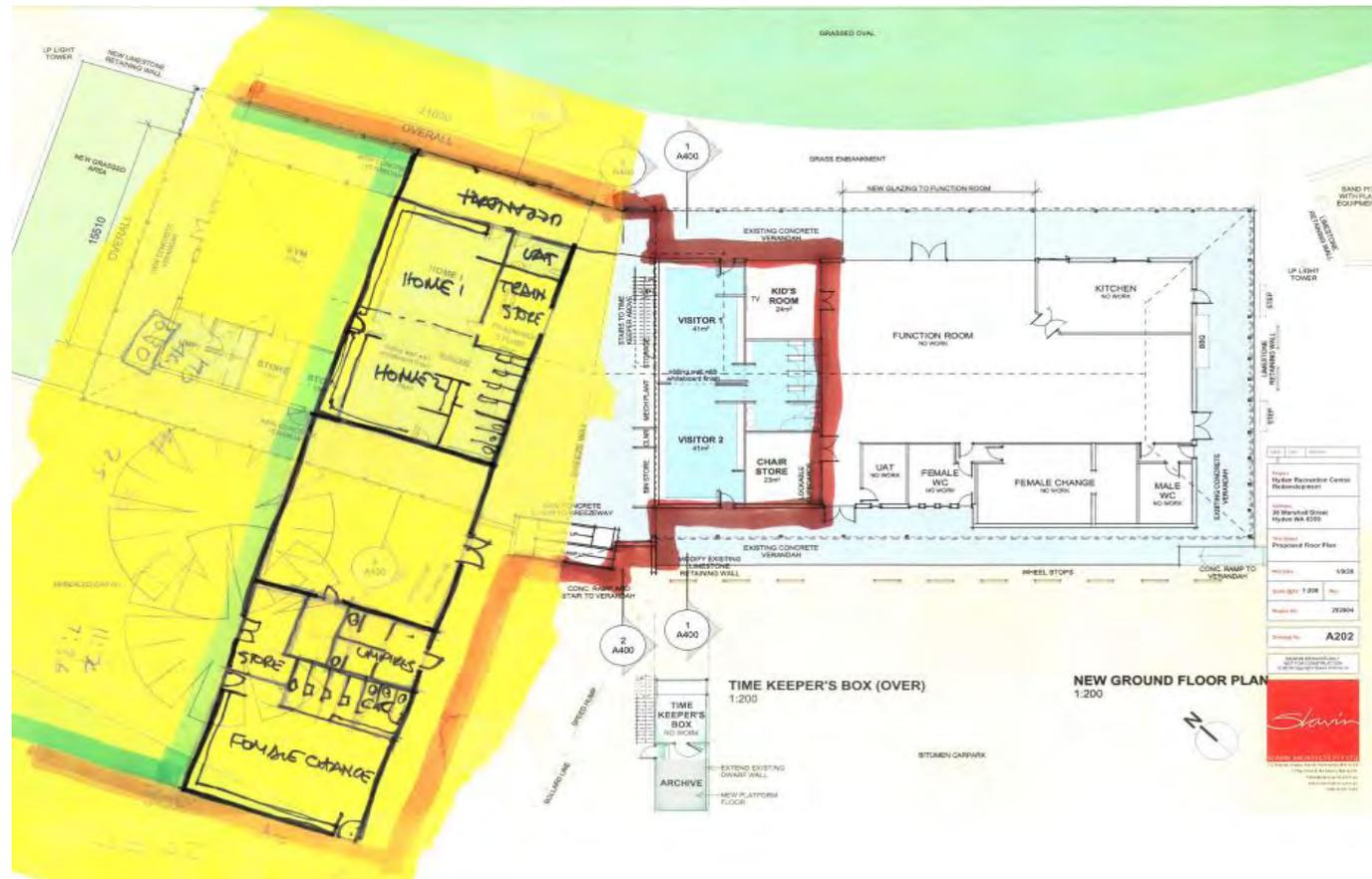
Option 1 - Extension To Existing Recreation Centre

Extend the existing Hyden Sports Pavilion comprising a gymnasium, storage space, umpires change rooms, Universal Access Toilet (UAT), visitors and home change rooms and additional ladies change rooms (estimated cost is \$3,000,000)



Option 1 - Extension To Existing Recreation Centre

Extend the existing Hyden Sports Pavilion comprising a gymnasium, storage space, umpires change rooms, Universal Access Toilet (UAT), visitors and home change rooms and additional ladies change rooms (estimated cost is \$3,000,000)

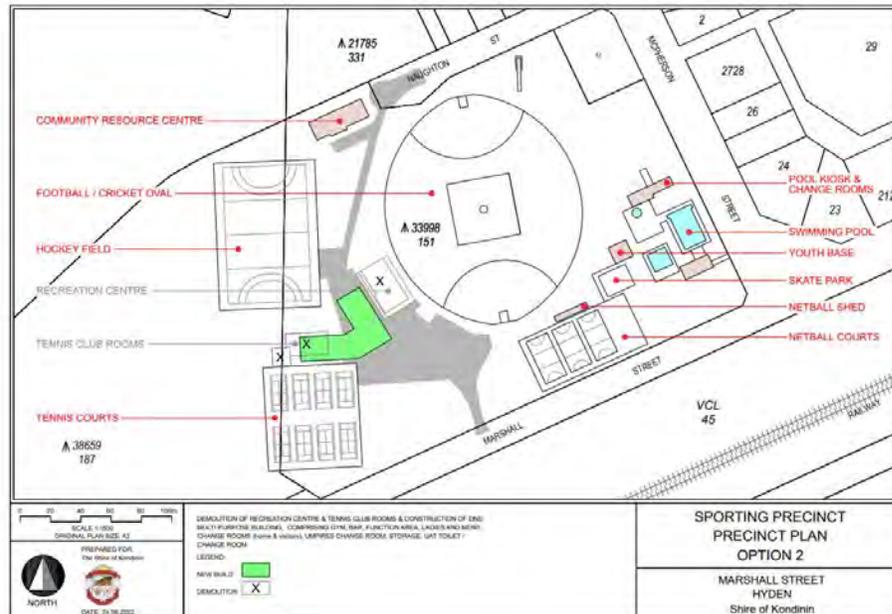


Survey Comments in Support of Option 1

- With diminishing sporting club numbers and population basic upgrades to current facilities is suffice
- Ladies change rooms more than adequate for one day sport
- Storage space a priority that needs to be addressed
- Work with the existing building to make it accommodate more sports in the precinct
- Don't make Sports Pavilion too big making Town Hall obsolete
- Concern of overrun on costing as population decreasing
- Need to consider realistic options that can afford
- Some buildings in Sports Precinct (e.g. Youth Base and CRC were grant led rather than what the community wanted and therefore use and position were not thought through - don't make this mistake again).
- Would like to see a survey done on who would actually use the gym
- Upgrade the Men's Change Rooms and Storage Space - the remainder of the building is more than adequate for the size of our small communities
- Upgrades to the Men's Change Rooms is all that is required to this building with money better spent on upgrading pool building
- A lot of money was spent on the Hyden Sports Pavilion back in 2016 and therefore what is the point of now demolishing this building
- Option 1 is only fiscal responsible option due to potential significant rate rises and the degree that will compromise money being spent on core business such as roads

Option 2 - Construct New Multi-Purpose Building

Demolish the existing Hyden Sports Pavilion and Tennis Club Building and construct a purpose-built Recreation Pavilion that is positioned to accommodate all playing surfaces within the Hyden Recreation Precinct comprising a gym, umpires change rooms, Universal Access Toilet (UAT), visitors and home men's change rooms, visitor and home ladies change rooms, men's and ladies toilets, kitchen, bar, function area, office and storage space (estimated to cost between \$7,000,000 and \$9,000,000).

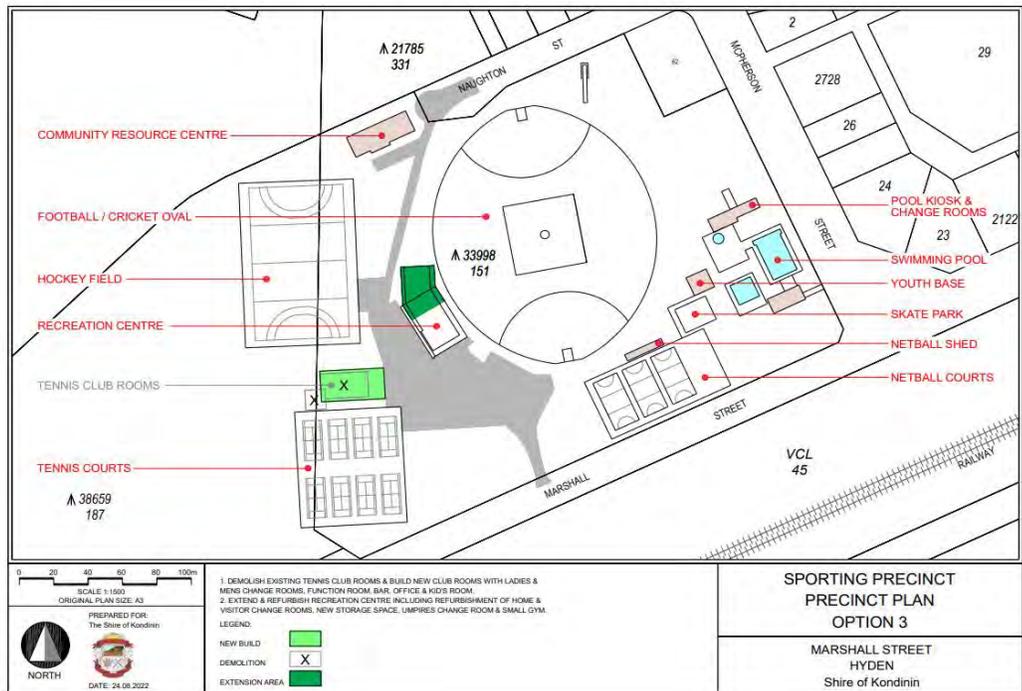


Survey Comments in Support of Option 2

- A whole new building should've been constructed years ago
- Recommend a multi-purpose new building with a gym that incorporates more than just standard summer and winter sports
- 24 Hour Gym like in Perth
- Costings are outrageous and used to put community off
- Build a new building with a netball / basketball and squash courts and associated provision for bowling green making it a fully inclusive sporting area
- Consider a bar with a club licence
- Recreation Centre and Visitor Centre to be co-located
- Building costs only going to increase - need to make a decision on what community needs and proceed
- If keep on undertaking extensions will come back to the same issues therefore start again so can ensure that the community gets a building that has everything the community requires for sport, fitness and mental health and well being that is for all age groups and beyond one day sport

Option 3 - Demolish Tennis Club and Undertaken Basic Extensions to Recreation Centre

Demolish the Tennis Club building and construct a new purpose-built Tennis Club Building that accommodates a bar, function area, office, ladies and men's change rooms that can be co-shared with winter sports and undertake a modest extension to the Hyden Sports Pavilion comprising upgrades to the men's home and visitor change rooms, additional storage space, an umpires change room and a small gymnasium (estimated could cost between \$5,000,000 and \$8,000,000).



Survey Comments in Support of Option 3

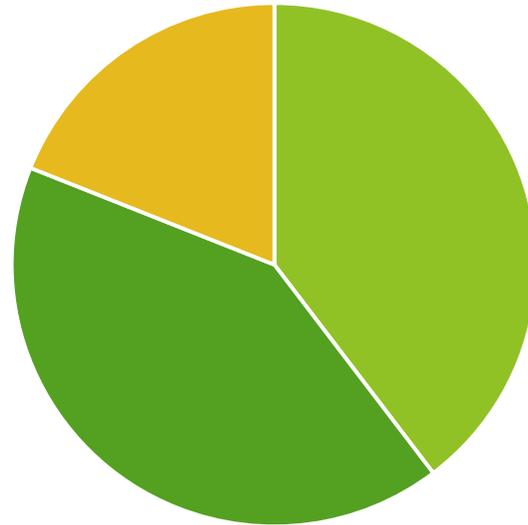
- Important that there is toilets at the Tennis Courts as it is currently unsafe to have children crossing over the car park
- Possible structural issues with the kids room at tennis building as kitchen wall and door moving
- Tennis Club Building is a disgrace and needs to be demolished
- Most people would be unaware of significant issues with the tennis club building.
- Tennis Club building needs a roof ASAP
- Tennis Club building will require a re-build in 5 to 10 years
- Tennis Club in serious state of disrepair that needs to be addressed
- Ramp into tennis club area not very accessible

General Survey Comments

- There is more to a town than sports clubs - spend the money elsewhere for a change
- User should pay for renovations and maintenance and should not all be coming from farm rate payers across the Shire
- Community should be expected to contribute greater funds towards the project like other capital projects undertaken in the Shire
- Recommend discussions with Karlgarin Bowling Club to be relocated to Hyden
- Survey should be done on a gym and who will actually use a gym before proceeding
- Youth Base converted to a gym
- Concern over impost on Shire rate payers and long term financial hardship
- Seems a lot of money to spend on a Recreation Building
- Population only going to remain or reduce questioning why need such large facilities considering how much they are used
- Community needs a Tourist Centre before spending millions on a new Rec Centre
- Not enough detail in survey to make an informed decision. Recommend that each option is fully costed before a decision is made.
- Whilst it might seem that Hyden has sufficient facilities to cater for a small population, the condition and functionality do not cater for current and future needs of the community

Survey Option Results

OPTION BREAKDOWNS



■ Option 1 ■ Option 2 ■ Option 3

Option 1 - 23 respondents
Option 2 - 24 respondents
Option 3 - 11 respondents

Summary

- ▶ Option 1 and 2 were the preferred options selected by respondents
- ▶ Shire of Kondinin have estimated that can contribute up to \$1.5M of cash towards the project over 2 years with any greater contribution requiring loan funding
- ▶ Loan funding would be subject to approval with greater than \$1M uncertain
- ▶ CSRFF Grant allows up to 1/3 of project cost (eligible elements) with a total of \$2M
- ▶ The Hyden Sports Council have advised that can contribute \$50,000 towards the Project
- ▶ A final scope for the project and a commitment of funding from the Hyden community will be required to enable the Shire to work in partnership with the Hyden Sports Council to complete the Project
- ▶ A mixture of feedback was received through the surveys, the most consistent messages being the importance of upgrading the men's change rooms and storage space at the Recreation Centre, the importance of matching the needs of the community, the poor state of the Hyden Tennis Club building in general and concern over costings to the Shire in the long term.
- ▶ Possibility to ask architects to develop concept and prepare costings for Option 2 before a final decision is made on the scope.



Wilde and Woollard

Hyden Recreation Centre

AT

38 Marshall Street
Hyden WA 6359

Opinion of Probable Cost (DRAFT)

Slavin Architects
Architect
1c Pearse Street
North Fremantle WA 6159

Wilde and Woollard (WA)
Cost Consultants & Quantity Surveyors
Unit 1, 1008 Wellington Street
West Perth, WA 6005

26 August 2020

SUMMARY

PROJECT: Wilde and Woollard

DETAILS: Opinion of Probable Cost (DRAFT)

BUILDING: Hyden Recreation Centre

Code	Scope Of Work	Total Cost
	Recreation Centre	2,457,677
	NOTE: ALL COSTS EXCL. GST	
ANTICIPATED TOTAL PROJECT COST		2,457,677

REPORT DETAILS

PROJECT: Wilde and Woollard

DETAILS: Opinion of Probable Cost (DRAFT)

BUILDING: Hyden Recreation Centre

Item	Item Description	Quantity	Unit	Rate	Amount
Recreation Centre					
<u>SITE PREPARATIONS</u>					
1	Allow for site preparation		Item		15,000
2	Provision for excavation in rocks		Excl.		Excluded
<u>DEMOLITIONS AND ALTERATIONS</u>					
<u>General Items</u>					
3	Allow for the removal of asbestos related materials found on site		Excl.		Excluded
4	Allow for temporary partitions / barrier if necessary		Item		5,000
5	Allow for removal of sundry items prior to commencing the demolition works		Item		3,500
<u>Whole Structure</u>					
6	Demolish existing shed		Item		2,900
<u>Walls and Partitions</u>					
7	Demolish internal walls	162	m2	40.00	6,480
<u>Windows and Doors</u>					
8	Remove windows	5	m2	55.00	275
9	Remove single door and frame	2	No.	75.00	150
10	Remove double door and frame	2	No.	120.00	240
<u>Finishes</u>					
11	Strip off existing finishes to floor & ceiling	157	m2	45.00	7,065
<u>External Works</u>					
12	Remove existing retaining walls		Item		990
<u>Generally</u>					
13	Allow for general making good all works disturbed by the demolitions and alterations		Item		1,400
<u>NEW WORKS</u>					
14	Gym	123	m2	1,070.00	131,610
15	E.O Gym equipment & furniture		Excl.		Excluded
16	Changeroom	93	m2	1,720.00	159,960
17	Toilet	52	m2	2,020.00	105,040
18	Store	44	m2	450.00	19,800
19	Extension to time keep box	11	m2	2,079.00	22,869

REPORT DETAILS

PROJECT: Wilde and Woollard

DETAILS: Opinion of Probable Cost (DRAFT)

BUILDING: Hyden Recreation Centre

Item	Item Description	Quantity	Unit	Rate	Amount
Recreation Centre <i>(Continued)</i>					
20	Existing - Visitors	83	m2	970.00	80,510
21	Existing - Toilets	28	m2	1,270.00	35,560
22	Existing - Store	22	m2	150.00	3,300
23	Existing - Kid rooms	24	m2	970.00	23,280
	<u>Roof Level</u>				
24	Roof structure & Roof covering & Soffit lining	789	m2	490.00	386,610
	<u>Engineering Services</u>				
25	Hydraulics Services		Item		75,700
26	Distribution board		Item		10,000
27	Electrical services		Item		142,000
28	Air Conditioning		Item		65,000
29	Ventilation		Item		43,700
30	Fire protection		Item		8,000
31	Builder's Works in connection with services		Item		17,300
	<u>EXTERNAL WORKS</u>				
32	Provision for paving	369	m2	65.00	24,003
33	Provision for landscaping & reticulation	150	m2	60.00	9,000
34	Provision for ramp & balustrades		Item		15,500
35	Provision for retaining wall & external walls		Item		13,800
	<u>EXTERNAL SERVICES</u>				
36	Provision for sewerage		Item		4,000
37	Provision for cold water supply		Item		4,000
38	Provision for fire services		Item		7,000
39	Provision for gas supply		Excl.		0
40	Provision for storm water drainage		Item		22,000
	<u>External Electrical Services</u>				
41	Power conduits and pit systems		Item		6,000
42	Power upgrade		Excl.		Excluded
43	Builder's work		Item		600

REPORT DETAILS

PROJECT: Wilde and Woollard

DETAILS: Opinion of Probable Cost (DRAFT)

BUILDING: Hyden Recreation Centre

Item	Item Description	Quantity	Unit	Rate	Amount
Recreation Centre					<i>(Continued)</i>
	<u>ON COST</u>				
44	Preliminaries, 15%		Item		222,000
45	Design Contingency, 10%		Item		171,000
46	Contract Contingency, 5%		Item		94,000
	ESTIMATED TOTAL BUILDING COST IN PERTH		\$\$		1,966,142
47	Locality Allowance, 25%	1,966,142	Item	0.25	491,535
	ESTIMATED TOTAL BUILDING COST IN HYDEN		\$\$		2,457,677
48	Escalation		Excl.		Excluded
49	GST		Excl.		Excluded
50	Professional Fees		Excl.		Excluded
51	Furniture & Equipment		Excl.		Excluded
Recreation Centre TOTAL					2,457,677



Hyden Recreation Centre

Proposed Re-development Work

At

38 Marshall Street
Hyden, WA 6359

Opinion of Probable Cost - July 2022

Slavin Architects Pty Ltd
Architect
1C, Pearse Street
North Fremantle, WA 6159

Wilde and Woollard (WA)
Cost Consultants & Quantity Surveyors
Unit 1, 1008 Wellington Street
West Perth, WA 6005

04 July 2022

SUMMARY

PROJECT: Hyden Recreation Centre

DETAILS: Opinion of Probable Cost - July 2022

BUILDING: Proposed Re-development Work

Code	Scope Of Work	Total Cost
RC	Recreation Centre	3,313,801
NOTE: ALL COSTS EXCL. GST		
ANTICIPATED TOTAL PROJECT COST		3,313,801

REPORT DETAILS

PROJECT: Hyden Recreation Centre

DETAILS: Opinion of Probable Cost - July 2022

BUILDING: Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
RC Recreation Centre					
<u>SITE PREPARATIONS</u>					
1	Allow for site preparation		Item		22,000
2	Provision for excavation in rocks		Excl.		Excluded
<u>DEMOLITIONS AND ALTERATIONS</u>					
<u>General Items</u>					
3	Allow for the removal of asbestos related materials found on site		Excl.		Excluded
4	Allow for temporary partitions / barrier if necessary		Item		5,000
5	Allow for removal of sundry items prior to commencing the demolition works		Item		3,500
<u>Whole Structure</u>					
6	Demolish existing shed		Item		2,900
<u>Walls and Partitions</u>					
7	Demolish internal walls	162	m2	45.00	7,290
<u>Windows and Doors</u>					
8	Remove windows	5	m2	65.00	325
9	Remove single door and frame	2	No.	100.00	200
10	Remove double door and frame	2	No.	120.00	240
<u>Finishes</u>					
11	Strip off existing finishes to floor & ceiling	157	m2	45.00	7,065
<u>External Works</u>					
12	Remove existing retaining walls		Item		990
<u>Generally</u>					
13	Allow for general making good all works disturbed by the demolitions and alterations		Item		1,400
<u>NEW WORKS</u>					
14	Gym	123	m2	1,580.00	194,340
15	E.O Gym equipment & furniture		Excl.		Excluded
16	Change room	93	m2	2,540.00	236,220
17	Toilet	52	m2	2,540.00	132,080
18	Store	44	m2	910.00	40,040

REPORT DETAILS

PROJECT: Hyden Recreation Centre

DETAILS: Opinion of Probable Cost - July 2022

BUILDING: Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
RC	Recreation Centre				<i>(Continued)</i>
19	Extension to time keep box	11	m2	2,805.00	30,855
20	Existing - Visitors	83	m2	970.00	80,510
21	Existing - Toilets	28	m2	1,500.00	42,000
22	Existing - Store	22	m2	360.00	7,920
23	Existing - Kid rooms	24	m2	970.00	23,280
	<u>Roof Level</u>				
24	Roof structure & Roof covering & Soffit lining	789	m2	550.00	433,950
	<u>Engineering Services</u>				
25	Hydraulics Services		Item		78,250
26	Distribution board		Item		18,000
27	Electrical services		Item		178,000
28	Air Conditioning		Item		65,000
29	Ventilation		Item		45,700
30	Fire protection		Item		8,000
31	Builder's Works in connection with services		Item		19,700
	<u>EXTERNAL WORKS</u>				
32	Provision for paving	369	m2	65.00	24,003
33	Provision for landscaping & reticulation	150	m2	60.00	9,000
34	Provision for ramp & balustrades		Item		15,500
35	Provision for retaining wall & external walls		Item		16,200
	<u>EXTERNAL SERVICES</u>				
36	Provision for sewerage		Item		5,000
37	Provision for cold water supply		Item		4,450
38	Provision for fire services		Item		8,000
39	Provision for gas supply		Excl.		0
40	Provision for storm water drainage		Item		22,000
	<u>External Electrical Services</u>				
41	Power conduits and pit systems		Item		6,000
42	Power upgrade		Excl.		Excluded

REPORT DETAILS

PROJECT: Hyden Recreation Centre

DETAILS: Opinion of Probable Cost - July 2022

BUILDING: Proposed Re-development Work

Item	Item Description	Quantity	Unit	Rate	Amount
RC Recreation Centre					<i>(Continued)</i>
43	Builder's work		Item		600
	<u>ON COST</u>				
44	Preliminaries, 15%		Item		270,000
45	Design Contingency, 10%		Item		207,000
46	Contract Contingency, 5%		Item		114,000
	ESTIMATED TOTAL BUILDING COST IN PERTH		\$\$		2,386,508
47	Locality Allowance, 25%	2,386,508	Item	0.25	596,627
	ESTIMATED TOTAL BUILDING COST IN HYDEN		\$\$		2,983,134
48	Escalation (based on Construction start January 2024)		Item		330,666
49	GST		Excl.		Excluded
50	Professional Fees		Excl.		Excluded
51	Furniture & Equipment		Excl.		Excluded
Recreation Centre TOTAL					3,313,801







West Coast Estimating

30 Parker St
Bassendean WA 6054
A.B.N.
Phone: 0403417627

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

1 Consultants

Consultants

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	For BAL, energy efficiency, engineering etc	0.00	1.00	Each		
1 Consultants Totals:					0.00	0.00

2 Preliminaries

Preliminaries

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Fees Training Fund	Training Levy Fund .20% Total Cost (CTF)	1,200,000.00	0.20	%	2,400.00	2,400.00
Building Levy	Building Services Levy .137%	1,200,000.00	0.14	%	1,644.00	1,644.00
Building Permit	Building Permit Fees Uncertified .32%	1,200,000.00	0.32	%	3,840.00	3,840.00
Footpath Deposit	Footpath/Kerb/Crossover Deposit - no allowance	0.00	0.00	Each		
No Allowance	No allowance for synergy or western power fees	0.00	1.00	Each		
No Allowance	For planning fees	0.00	1.00	Each		
No Allowance	No Allowance for water corporation fees	0.00	1.00	Each		
2 Preliminaries Totals:					7,884.00	7,884.00

3 Insurances

Insurances

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Indemnity Insurance	Indemnity Insurance/Builders Warranty	8,000.00	1.00	Each	8,000.00	8,800.00
Contract Works	Contract Works,Builders Com Insurance (.65% Of Contract)	1,100,000.00	0.65	%	7,150.00	7,865.00
3 Insurances Totals:					15,150.00	16,665.00

4 Repeg/set out

Repeg & set out

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Not Required	Not Required	0.00	1.00	Each		
4 Repeg/set out Totals:					0.00	0.00

5 Demolition

Demolition

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Hire 10m3 Bin	Hire 10m3 Bin	550.00	15.00	Each	8,250.00	9,075.00

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149				Cost Per m2
Description	ORA - Kondinin Pavillion				\$0.00
Client	Office of Regional Architecture				Price Per m2
Site	44 Gordon St, Kondinin WA				\$0.00
Hire Bobcat	Bobcat Hire	120.00	8.00	Hour	960.00
Sundry Items.	Sundry Items, plumbing and electrical disconnections	3,000.00	1.00	Each	3,300.00
Labour (1)(1)	Remove entire roof	600.00	12.00	Day	7,200.00
Labour (1)(1)	Remove windows and doors	600.00	4.00	Day	2,400.00
Labour (1)(1)	Sundry items	600.00	5.00	Day	3,000.00
Labour (1)(1)	Remove carpets	600.00	2.00	Day	1,200.00
Labour (1)(1)	Remove brickwork	600.00	4.00	Day	2,400.00
Labour (1)(1)	Remove all plumbing fixtures, benches	600.00	2.00	Day	1,200.00
Labour (1)(1)	Remove all cabinetry	600.00	3.00	Day	1,800.00
Labour (1)(1)	Assist to break up external concrete	600.00	2.00	Day	1,200.00
Remove Tiles.	Remove And Dispose Of Wall & Floor Tiles	40.00	120.00	m2	4,800.00
5 Demolition Totals:					37,410.00
					41,151.00

6 Asbestos removal

Asbestos removal

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum - if any ??	5,000.00	1.00	Each	5,000.00	5,500.00
6 Asbestos removal Totals:					5,000.00	5,500.00

7 Earthworks

Earthworks

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	3,000.00	1.00	Each	3,000.00	3,300.00
7 Earthworks Totals:					3,000.00	3,300.00

8 Soil Stabilisation

Soil stabilisation

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
8 Soil Stabilisation Totals:					0.00	0.00

9 Temporary Fencing

Temporary fencing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	3,000.00	1.00	Each	3,000.00	3,300.00
9 Temporary Fencing Totals:					3,000.00	3,300.00

10 Site Hire

Site hire

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Brickies Scaffolding	Large Brickies Kit Includes Del & Pick	750.00	1.00	Each	750.00	825.00
Toile Hire Chemical	Chemical Toilet Hire Inc Clean Out	45.00	0.00	Week		
Site Shed Hire	Site Shed Hired Per Week	25.00	0.00	Week		

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149				Cost Per m2
Description	ORA - Kondinin Pavillion				\$0.00
Client	Office of Regional Architecture				Price Per m2
Site	44 Gordon St, Kondinin WA				\$0.00
Shed & Toilet Del	Toilet & shed Delivery	100.00	0.00	Each	
Crane Allowance	Crane Allowance Inc Dogman	350.00	0.00	Hour	

10 Site Hire Totals: 750.00 825.00

11 Plumbing

Plumbing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Main plumbing work	25,000.00	1.00	Each	25,000.00	27,500.00
Provisional Sum	Connect into existing tanks - if any ??	5,000.00	1.00	Each	5,000.00	5,500.00
Note	Assumed existing septic are suitable	0.00	1.00	Each		

11 Plumbing Totals: 30,000.00 33,000.00

12 S & I concrete

S & I concrete

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Dig allowance	Dig allowance	150.00	4.00	Hour	600.00	660.00
Concrete Supply.	Concrete Supply	500.00	5.00	m3	2,500.00	2,750.00
Labour (1)(1)	Grano workers	750.00	2.00	Day	1,500.00	1,650.00
SL 62 Mesh	SL62 Mesh	100.00	2.00	Sheet	200.00	220.00
Deliver Reo	Deliver Reo	500.00	1.00	Each	500.00	550.00
Sundry Items.	Sundry Items/unforseens	1,000.00	1.00	Each	1,000.00	1,100.00
Pump Hire	Concrete Pump Hire - may not be required	1,500.00	1.00	Each	1,500.00	1,650.00
Note	Assumptions made - subject to engineering drawings	0.00	1.00	Each		

12 S & I concrete Totals: 7,800.00 8,580.00

13 Sprinkler System

Sprinkler System

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		

13 Sprinkler System Totals: 0.00 0.00

14 Termite treatment

Termite treatment

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	1,000.00	1.00	Each	1,000.00	1,100.00

14 Termite treatment Totals: 1,000.00 1,100.00

15 Steelwork

Steelwork

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	S & I structural steel	25,000.00	1.00	Each	25,000.00	27,500.00

15 Steelwork Totals: 25,000.00 27,500.00

16 Steel door frames

Steel door frames

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Cost	Supply steel door frames - single	350.00	8.00	Each	2,800.00	3,080.00
Cost	Supply steel door frames - double	400.00	2.00	Each	800.00	880.00
Delivery	Delivery Of Materials	300.00	1.00	Each	300.00	330.00
16 Steel door frames Totals:					3,900.00	4,290.00

17 Timber joinery Timber joinery

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
17 Timber joinery Totals:					0.00	0.00

18 Aluminium Joinery Aluminium joinery

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	65,000.00	1.00	Each	65,000.00	71,500.00
18 Aluminium Joinery Totals:					65,000.00	71,500.00

19 Brickwork Brickwork

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Verticlays	Verticlays	1,000.00	1,104.00	Qty	1,104.00	1,214.40
Labour Verticlays	Labour To Lay Verticlays	3,000.00	1,104.00	Qty	3,312.00	3,643.20
St Face Bricks	St Face Bricks - prime cost	1,000.00	1,584.00	Qty	1,584.00	1,742.40
Labour St Face	Labour To Lay St Face	3,000.00	1,584.00	Qty	4,752.00	5,227.20
Cost	Face brick clean	750.00	1.00	Each	750.00	825.00
Brick Sand 9m3	Brick Sand 9m3	700.00	1.00	Each	700.00	770.00
Cement Brickies Grey	Brickies Grey 17.85kg	10.00	20.00	Bag	200.00	220.00
Cement Brickies Lite	Brickies Lite 17.85kg	11.00	20.00	Bag	220.00	242.00
Hardware	Straps, Dampco, Flashing, Wire Ties	1,000.00	1.00	Each	1,000.00	1,100.00
Cost	Brick cartage	1,200.00	1.00	Each	1,200.00	1,320.00
Labour (1)(1)	Brick and labourer - sundry	1,200.00	2.00	Day	2,400.00	2,640.00
19 Brickwork Totals:					17,222.00	18,944.20

20 Stud walls Stud walls

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Wall Frame material	Supply stud wall framing material	50.00	175.00	m2	8,750.00	9,625.00
Labour (1)(1)	Fabricate and stand stud walls	600.00	7.00	Day	4,200.00	4,620.00
20 Stud walls Totals:					12,950.00	14,245.00

21 Roof Roof

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Supply Of Trusses	Supply Of Trusses & Hardware	130.00	630.00	m2	81,900.00	90,090.00
Roof Labour M2	Roof Labour M2 All In Rate	60.00	630.00	m2	37,800.00	41,580.00
Delivery	Delivery Of Materials	1,500.00	1.00	Each	1,500.00	1,650.00
21 Roof Totals:					121,200.00	133,320.00

22 Roof Plumbing

Roof plumbing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Roof Plumbing(1)	S & I Of CB Sheets, Gutters, Downpipes, Flashings, Gshield	150.00	630.00	m2	94,500.00	103,950.00
22 Roof Plumbing Totals:					94,500.00	103,950.00

23 S & I cladding

S & I cladding

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
S & I Wall Cladding	S & I CB Wall Cladding - PS - material unknown	150.00	135.00	m2	20,250.00	22,275.00
23 S & I cladding Totals:					20,250.00	22,275.00

24 Skylights

Skylights

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
24 Skylights Totals:					0.00	0.00

25 Scaffolding

Scaffolding

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisional Sum	30,000.00	1.00	Each	30,000.00	33,000.00
25 Scaffolding Totals:					30,000.00	33,000.00

26 Electrical

S & I Electrical

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Main electrical work inc light fittings	35,000.00	1.00	Each	35,000.00	38,500.00
26 Electrical Totals:					35,000.00	38,500.00

27 Plastering

Plastering

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Plastering work	6,000.00	1.00	Each	6,000.00	6,600.00
27 Plastering Totals:					6,000.00	6,600.00

28 Ceiling Fixer

Ceiling fixer

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
R4.0 Batts	R4.0 Batts, Supplied & Installed To Ceilings	20.00	310.00	m2	6,200.00	6,820.00

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149				Cost Per m2	
Description	ORA - Kondinin Pavillion				\$0.00	
Client	Office of Regional Architecture				Price Per m2	
Site	44 Gordon St, Kondinin WA				\$0.00	
S & I suspended tile	S & I suspended tiling system To all ceilings	75.00	310.00	m2	23,250.00	25,575.00
Ceiling Fixer S (3)	To S & I Plasterboard To Walls	50.00	50.00	m2	2,500.00	2,750.00
S & I Villaboard	S & I Villaboard - store lining	70.00	20.00	m2	1,400.00	1,540.00

28 Ceiling Fixer Totals: 33,350.00 36,685.00

29 Supply Doors

Supply Doors

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Supply all doors	2,500.00	1.00	Each	2,500.00	2,750.00
29 Supply Doors Totals:					2,500.00	2,750.00

30 Door Hardware

Door Hardware

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Cost	Supply of door hardware	4,000.00	1.00	Each	4,000.00	4,400.00
30 Door Hardware Totals:					4,000.00	4,400.00

31 Mouldings

Mouldings

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Supply of mouldings to match existing	1,500.00	1.00	Each	1,500.00	1,650.00
31 Mouldings Totals:					1,500.00	1,650.00

32 Fixing Carpentry

Fixing Carpentry

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Labour (1)(1)	Fixing carpenter	600.00	10.00	Day	6,000.00	6,600.00
32 Fixing Carpentry Totals:					6,000.00	6,600.00

33 Site Cleans

Site Cleans

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Bin Hire 10m3	Hire Of 10m3 Bin	550.00	10.00	Each	5,500.00	6,050.00
Labour (1)(3)(1)	On Site Labouring	60.00	100.00	Hour	6,000.00	6,600.00
Hire Bobcat	Bobcat Hire	120.00	15.00	Hour	1,800.00	1,980.00
33 Site Cleans Totals:					13,300.00	14,630.00

34 Cabinetry

Cabinetry

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Kitchen cabinets. SS benches	45,000.00	1.00	Each	45,000.00	49,500.00
34 Cabinetry Totals:					45,000.00	49,500.00

35 Tiling

Tiling

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Floor Tiles	Supply Of Floor Tiles	40.00	50.00	m2	2,000.00	2,200.00

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149					Cost Per m2
Description	ORA - Kondinin Pavillion					\$0.00
Client	Office of Regional Architecture					Price Per m2
Site	44 Gordon St, Kondinin WA					\$0.00
Wall Tiles	Supply Of Wall Tiles - assumed quantity	40.00	50.00	m2	2,000.00	2,200.00
Grout & Access(1)	Grout & Access	15.00	100.00	m2	1,500.00	1,650.00
Tile Delivery	Deliver Tiles	500.00	1.00	Each	500.00	550.00
Labour Wall & Floor	Labour To Lay Wall And Floor Tiles	100.00	100.00	m2	10,000.00	11,000.00
Screeding Floor	Screed Floor Ready For Tiling	30.00	50.00	m2	1,500.00	1,650.00
Caulking Labour	Caulking Labour	1,000.00	1.00	Each	1,000.00	1,100.00
Sundry Items.	Sundry Items	1,000.00	1.00	Each	1,000.00	1,100.00
35 Tiling Totals:					19,500.00	21,450.00

36 Waterproofing

Waterproofing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Synthetic Rubber	Synthetic Rubber Waterproofing Floor Of Wet Areas	40.00	50.00	m2	2,000.00	2,200.00
Waterproof Shower	Waterproof Shower	350.00	4.00	Each	1,400.00	1,540.00
36 Waterproofing Totals:					3,400.00	3,740.00

37 Painting

Painting

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Painting	30,000.00	1.00	Each	30,000.00	33,000.00
37 Painting Totals:					30,000.00	33,000.00

38 Washed aggregate

Washed aggregate

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Washed Aggregate	Washed Aggregate Includes Mesh & Sealer PS	170.00	270.00	m2	45,900.00	50,490.00
38 Washed aggregate Totals:					45,900.00	50,490.00

39 Glazing

Glazing

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Note	In cabinetry PS	0.00	1.00	Each		
39 Glazing Totals:					0.00	0.00

40 Appliances

Appliances

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Supply hotplates, ovens and rangehoods	15,000.00	1.00	Each	15,000.00	16,500.00
Prime Cost	Supply dishwashers and fridges	10,000.00	1.00	Each	10,000.00	11,000.00
Install dishwasher	Install dishwasher and fridges	1,000.00	1.00	Each	1,000.00	1,100.00
Install Rangehood	Install Rangehoods	1,500.00	1.00	Each	1,500.00	1,650.00
40 Appliances Totals:					27,500.00	30,250.00

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

41 Plumbing Fixtures

Plumbing fixtures

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Prime Cost	Plumbing fixtures to all wet areas and kitchen Inc change table, bench seat	20,000.00	1.00	Each	20,000.00	22,000.00
41 Plumbing Fixtures Totals:					20,000.00	22,000.00

42 Hot Water Unit

Hot water units

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Supply hot water units	3,000.00	1.00	Each	3,000.00	3,300.00
Provisional Sum	Screen and gate to surrund HWU	2,500.00	1.00	Each	2,500.00	2,750.00
42 Hot Water Unit Totals:					5,500.00	6,050.00

43 Fencing

Fencing & gates

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
43 Fencing Totals:					0.00	0.00

44 Floor coverings

Floor coverings

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Commercial vinyl	Commercial vinyl flooring inc 150mm cove	100.00	115.00	m2	11,500.00	12,650.00
44 Floor coverings Totals:					11,500.00	12,650.00

45 Concrete Hardstand

Concrete hardstand

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
45 Concrete Hardstand Totals:					0.00	0.00

46 Partitions

Partitions

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	S & I partitions	1,250.00	7.00	Each	8,750.00	9,625.00
46 Partitions Totals:					8,750.00	9,625.00

47 Air conditioning

Air conditioning

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Provisonal sum - to clubroom only	8,000.00	1.00	Each	8,000.00	8,800.00
47 Air conditioning Totals:					8,000.00	8,800.00

48 Roller door

Roller doors

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Provisional Sum	Roller door, manual	2,000.00	1.00	Each	2,000.00	2,200.00

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

48 Roller door Totals: 2,000.00 2,200.00

49 Landscaping Landscaping hard

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance	0.00	1.00	Each		
49 Landscaping Totals:					0.00	0.00

50 Provisional Sums Provisional sums

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
No Allowance	No Allowance for fire shutters	0.00	1.00	Each		
Provisional Sum	S & I gate to bin store	1,500.00	1.00	Each	1,500.00	1,650.00
Provisional Sum	New benches to away change	4,000.00	1.00	Each	4,000.00	4,400.00
Provisional Sum	Security screens to home and away	5,000.00	1.00	Each	5,000.00	5,500.00
Provisional Sum	Power circuit requirements	60,000.00	1.00	Each	60,000.00	66,000.00
Provisional Sum	New septic	20,000.00	1.00	Each	20,000.00	22,000.00
Provisional Sum	Hot water units	5,000.00	1.00	Each	5,000.00	5,500.00
50 Provisional Sums Totals:					95,500.00	105,050.00

51 House Clean House Clean

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Labour (1)(3)(1)	Labour Per Hour	50.00	80.00	Hour	4,000.00	4,400.00
51 House Clean Totals:					4,000.00	4,400.00

52 Contingency Contingency

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Contingency	Contingency Amount including travel	35,000.00	1.00	Each	35,000.00	38,500.00
52 Contingency Totals:					35,000.00	38,500.00

53 Builders Fees Builders fees

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Builders Profit	Builders Profit 25%	850,000.00	25.00	%	212,500.00	233,750.00
53 Builders Fees Totals:					212,500.00	233,750.00

54 Maintenance Maintenance

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
Maintenance	Maintenance Items At Defects Liability Period	6,000.00	1.00	Each	6,000.00	6,600.00
54 Maintenance Totals:					6,000.00	6,600.00

55 Hockey Changerooms Hockey changerooms

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
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Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

Estimate	7149				Cost Per m2
Description	ORA - Kondinin Pavillion				\$0.00
Client	Office of Regional Architecture				Price Per m2
Site	44 Gordon St, Kondinin WA				\$0.00
Wall Frame material	Supply stud wall framing material	50.00	30.00 m2	1,500.00	1,650.00
Labour (1)(1)	Fabricate and stand stud walls	600.00	2.00 Day	1,200.00	1,320.00
Provisional Sum	S & I partitions	1,250.00	5.00 Each	6,250.00	6,875.00
Provisional Sum	Plumbing fixtures	7,000.00	1.00 Each	7,000.00	7,700.00
Provisional Sum	Electrical work	3,000.00	1.00 Each	3,000.00	3,300.00
Provisional Sum	Plumbing work	10,000.00	1.00 Each	10,000.00	11,000.00
S & I Tiling	S & I Tiling Complete (Tiles & Labour)	150.00	30.00 m2	4,500.00	4,950.00
Waterproof Shower	Waterproof Shower	350.00	2.00 Each	700.00	770.00
Synthetic Rubber	Synthetic Rubber Waterproofing Floor Of Wet Areas	40.00	20.00 m2	800.00	880.00
S & I Concrete ((1)	S & I Concrete	700.00	4.00 m3	2,800.00	3,080.00
S & I Cladding	S & I Cladding - PS inc painting	180.00	30.00 m2	5,400.00	5,940.00
S & I suspended tile	S & I suspended tiling system	75.00	18.00 m2	1,350.00	1,485.00
Ceiling Fixer S (3)	To S & I Plasterboard To Walls inc insulation	50.00	50.00 m2	2,500.00	2,750.00
Provisional Sum	Painting	1,500.00	1.00 Each	1,500.00	1,650.00
Provisional Sum	S & I entry door and windows complete	4,000.00	1.00 Each	4,000.00	4,400.00
55 Hockey Changerooms Totals:				52,500.00	57,750.00

56 Timekeepers Box

Timekeepers box

Name	Description	Cost	Quantity	Unit	Total Cost	Total Price
S & I Floor Structur	S & I Timber Floor Structure	250.00	10.00	m2	2,500.00	2,750.00
Wall Frame material	Supply stud wall framing material	50.00	40.00	m2	2,000.00	2,200.00
Labour (1)(1)	Fabricate and stand stud walls	600.00	2.00	Day	1,200.00	1,320.00
Provisional Sum	Electrical work	1,500.00	1.00	Each	1,500.00	1,650.00
S & I Cladding	S & I Cladding - PS inc painting	180.00	40.00	m2	7,200.00	7,920.00
Ceiling Fixer S (3)	To S & I Plasterboard To Walls and ceiling inc insulation	50.00	40.00	m2	2,000.00	2,200.00
Provisional Sum	Painting	1,500.00	1.00	Each	1,500.00	1,650.00
Provisional Sum	S & I entry door and windows complete	7,000.00	1.00	Each	7,000.00	7,700.00
Provisional Sum	S & I stairs	4,000.00	1.00	Each	4,000.00	4,400.00
56 Timekeepers Box Totals:					28,900.00	31,790.00
Totals:					1,264,116.00	1,389,739.20

Estimate Costs and Prices

Cost Excludes
GST
Price Includes
GST

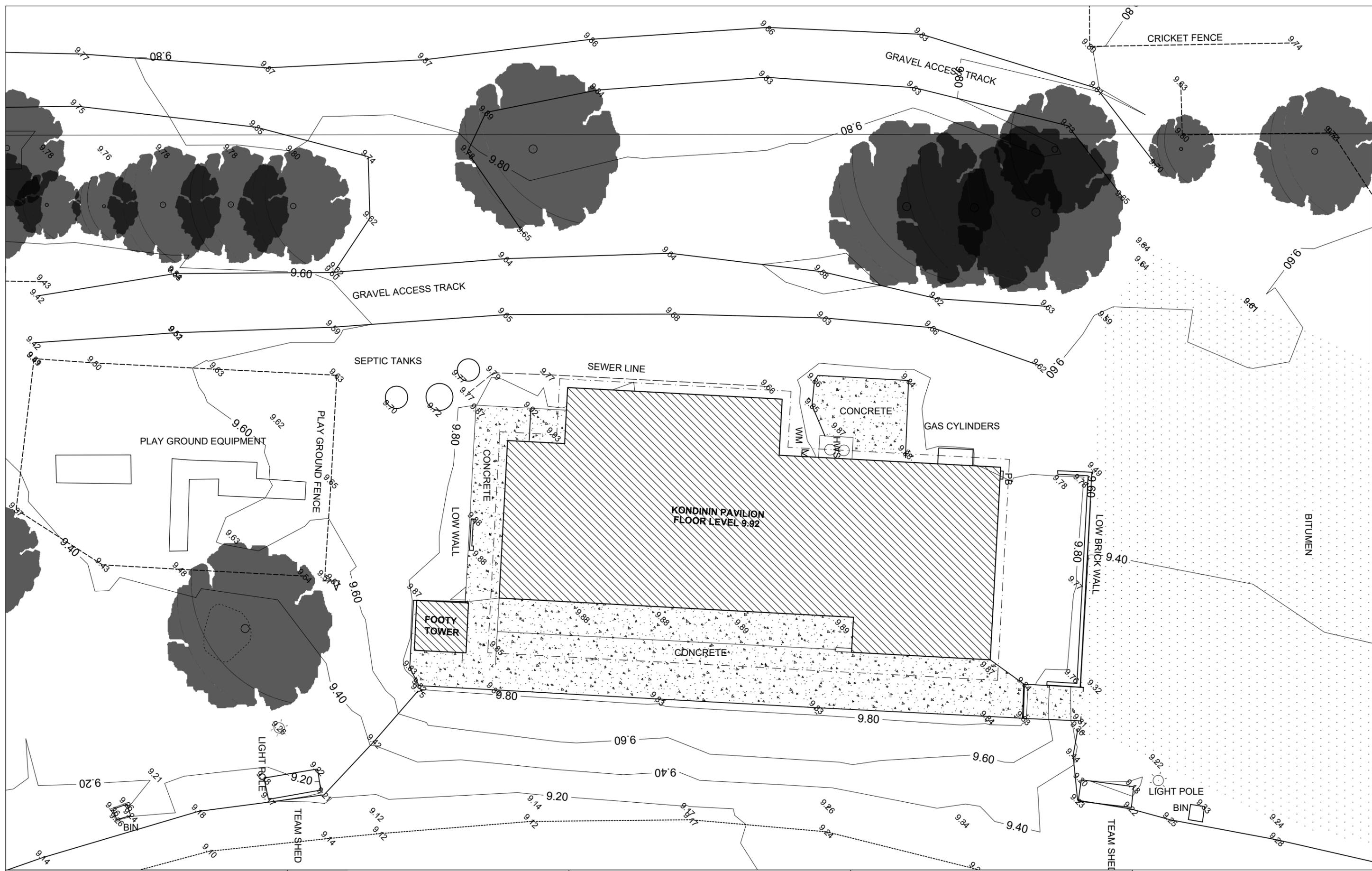
Estimate	7149	Cost Per m2
Description	ORA - Kondinin Pavillion	\$0.00
Client	Office of Regional Architecture	Price Per m2
Site	44 Gordon St, Kondinin WA	\$0.00

GST:	125,623.20	125,623.20
Totals	1,264,116.00	1,389,739.20

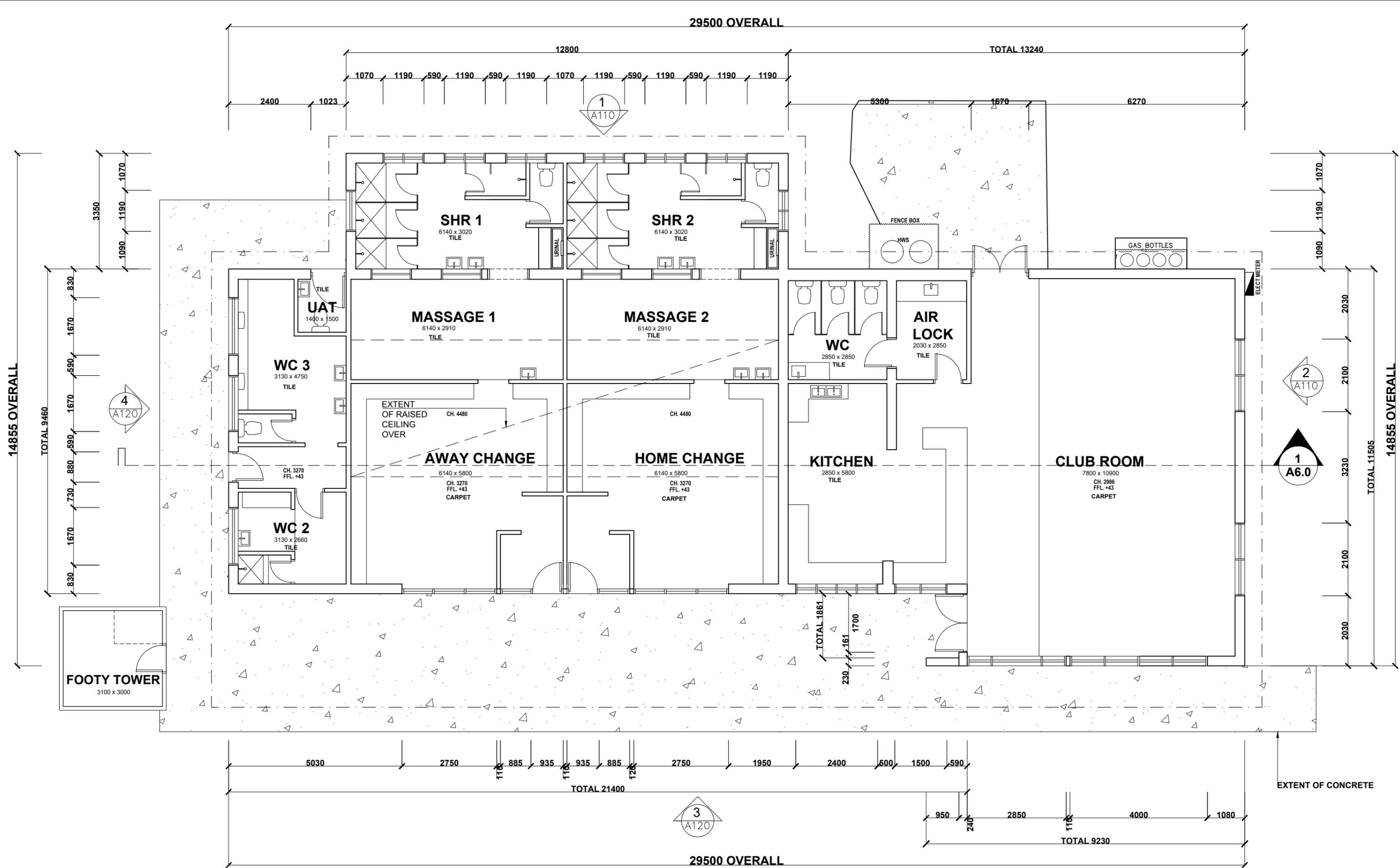
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A1.0	AS CONSTRUCTED PLANS, ELEVATIONS
A2.0	REMOVAL PLANS, ELEVATIONS
A3.0	PROPOSED PLANS
A4.0	ELEVATIONS
A5.0	SECTIONS

Notes	Project KONDININ PAVILION	Drawing COVER PAGE	Project Status: CONCEPT DESIGN	 <p>2 Lennard Street cnr Robinson Rd Brodinton WA 6306 PO Box 102 Brodinton WA 6306 T. 9609 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au RBA Reg 40232</p>
<p>TOR - Top of Roof TOW- Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>Client SHIRE OF KONDININ Address 44 GORDON ST, KONDININ, 6367 ORA Project No. 2022 - 0017</p>	<p>Scale N/A Drawing No. A000 Date 29/03/2023 Revision A</p>	  <p>Member Australian Institute of Architects</p>	



<p>Notes</p> <p>TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate</p> <p>FL - @ FFL HEIGHT LF - @ -40mm below FFL</p> <p>© OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>Project KONDININ PAVILION</p> <p>Client SHIRE OF KONDININ</p> <p>Address 44 GORDON ST, KONDININ, 6367</p> <p>ORA Project No. 2022 - 0017</p>	<p>Drawing EXISTING SITE PLAN</p> <p>Scale 1:200</p> <p>Date 29/03/2023</p> <p>Drawing No. A100</p> <p>Revision A</p>	<p>Project Status: CONCEPT DESIGN</p>   <p>Member Australian Institute of Architects</p>	 <p>Office of Regional Architecture</p> <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</p>
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<p>Notes</p> <p>TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate</p> <p>FL - @ FFL HEIGHT LF - @ -40mm below FFL</p> <p>© OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>Project KONDININ PAVILION</p> <p>Client SHIRE OF KONDININ</p> <p>Address 44 GORDON ST, KONDININ, 6367</p> <p>ORA Project No. 2022 - 0017</p>	<p>Drawing EXISTING PLAN</p> <p>Scale 1:100</p> <p>Date 29/03/2023</p> <p>Drawing No. A101</p> <p>Revision A</p>	<p>Project Status: CONCEPT DESIGN</p>  <p>Member Australian Institute of Architects</p>	<p>ORA Office of Regional Architecture</p> <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306</p> <p>T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au</p> <p>ABWA Reg #2150</p>
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ROOF PITCH 65°

TOR CHANGE + 4900

CEILING + 4480

TOR + 3770

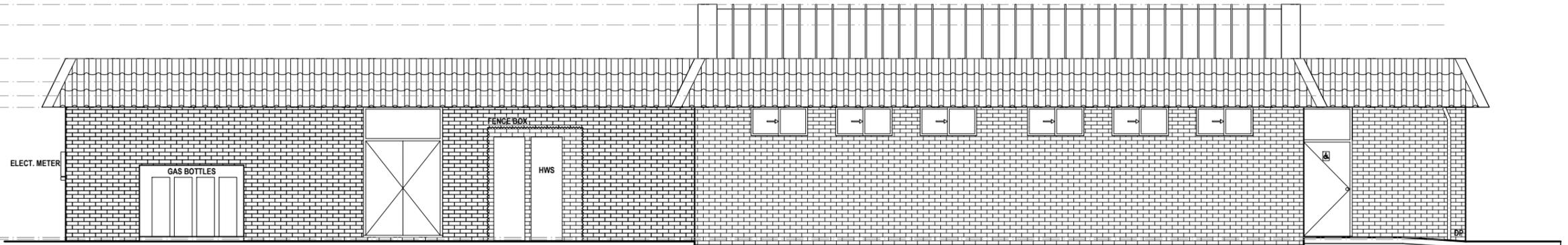
CEILING + 3270

CEILING + 2986

TOW + 2743

FFL 0.00

GROUND LINE (VARIES) - 43



1 EAST ELEVATION

1:100

ROOF PITCH 65°

TOR CHANGE + 4900

CEILING + 4480

TOR + 3770

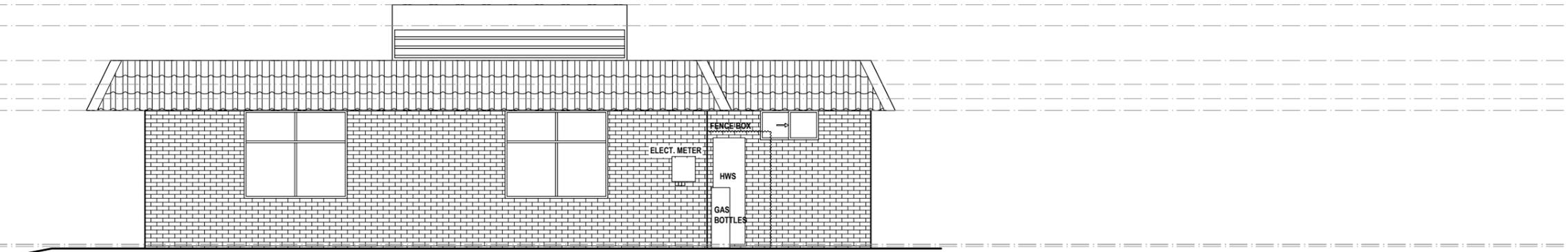
CEILING + 3270

CEILING + 2986

TOW + 2743

FFL 0.00

GROUND LINE (VARIES) - 43



2 NORTH ELEVATION

1:100

Notes	Project KONDININ PAVILION	Drawing EXISTING ELEVATIONS	Project Status: CONCEPT DESIGN	 <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</p>
TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023	FL - @ FFL HEIGHT LF - @ -40mm below FFL Client SHIRE OF KONDININ Address 44 GORDON ST, KONDININ, 6367 ORA Project No. 2022 - 0017	Scale 1:100 Date 29/03/2023 Drawing No. A110 Revision A	  <p>Member Australian Institute of Architects</p>	<p>ORA Office of Regional Architecture</p>

ROOF PITCH 65°

TOR CHANGE + 4900

CEILING + 4480

TOR + 3770

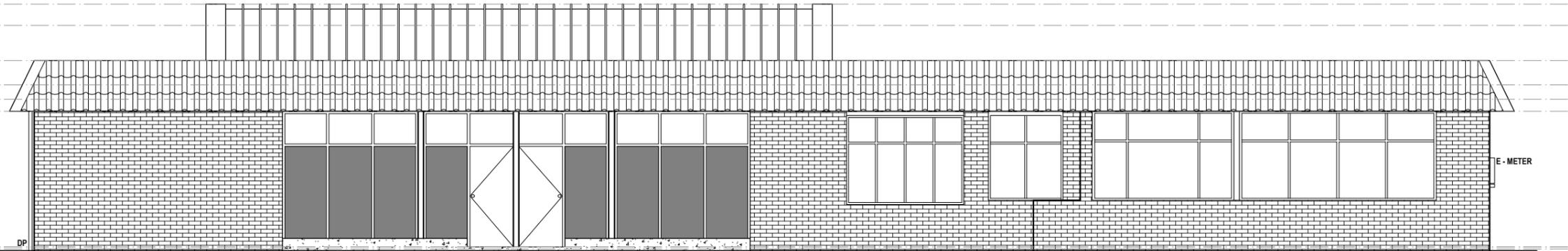
CEILING + 3270

CEILING + 2986

TOW + 2743

FFL 0.00

GROUND LINE (VARIES) - 43



3 WEST ELEVATION
1:100

ROOF PITCH 65°

TOR CHANGE + 4900

CEILING + 4480

TOR + 3770

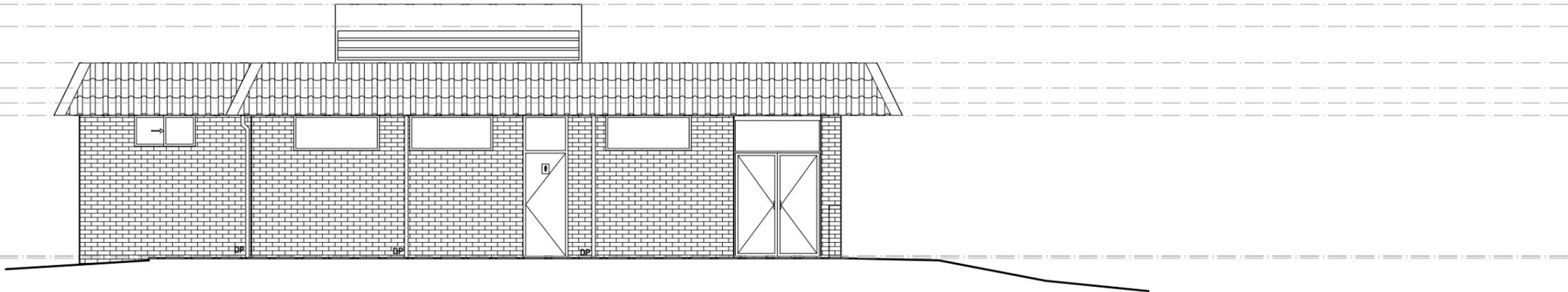
CEILING + 3270

CEILING + 2986

TOW + 2743

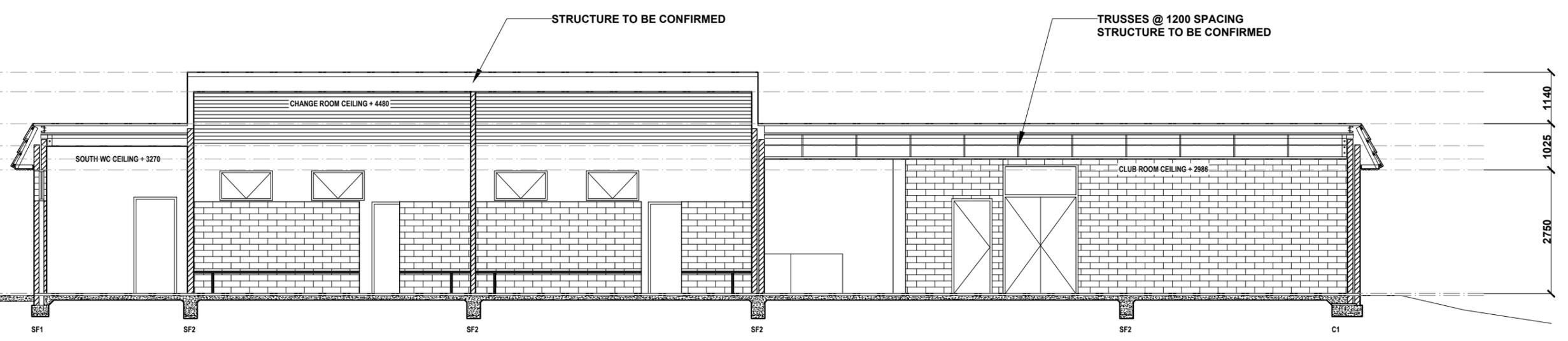
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GROUND LINE (VARIES) - 43



4 SOUTH ELEVATION
1:100

Notes	Project KONDININ PAVILION	Drawing EXISTING ELEVATIONS	Project Status: CONCEPT DESIGN	 <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</p>
<p>TOR - Top of Roof TOW - Top of Wall FFL - Finished Floor Level EB - Electrical Box All roof angles approximate © OFFICE OF REGIONAL ARCHITECTURE 2023</p>	<p>Client SHIRE OF KONDININ Address 44 GORDON ST, KONDININ, 6367 ORA Project No. 2022 - 0017</p>	<p>Scale 1:100 Date 29/03/2023</p> <p>Drawing No. A120 Revision A</p>	  <p>Member Australian Institute of Architects</p>	

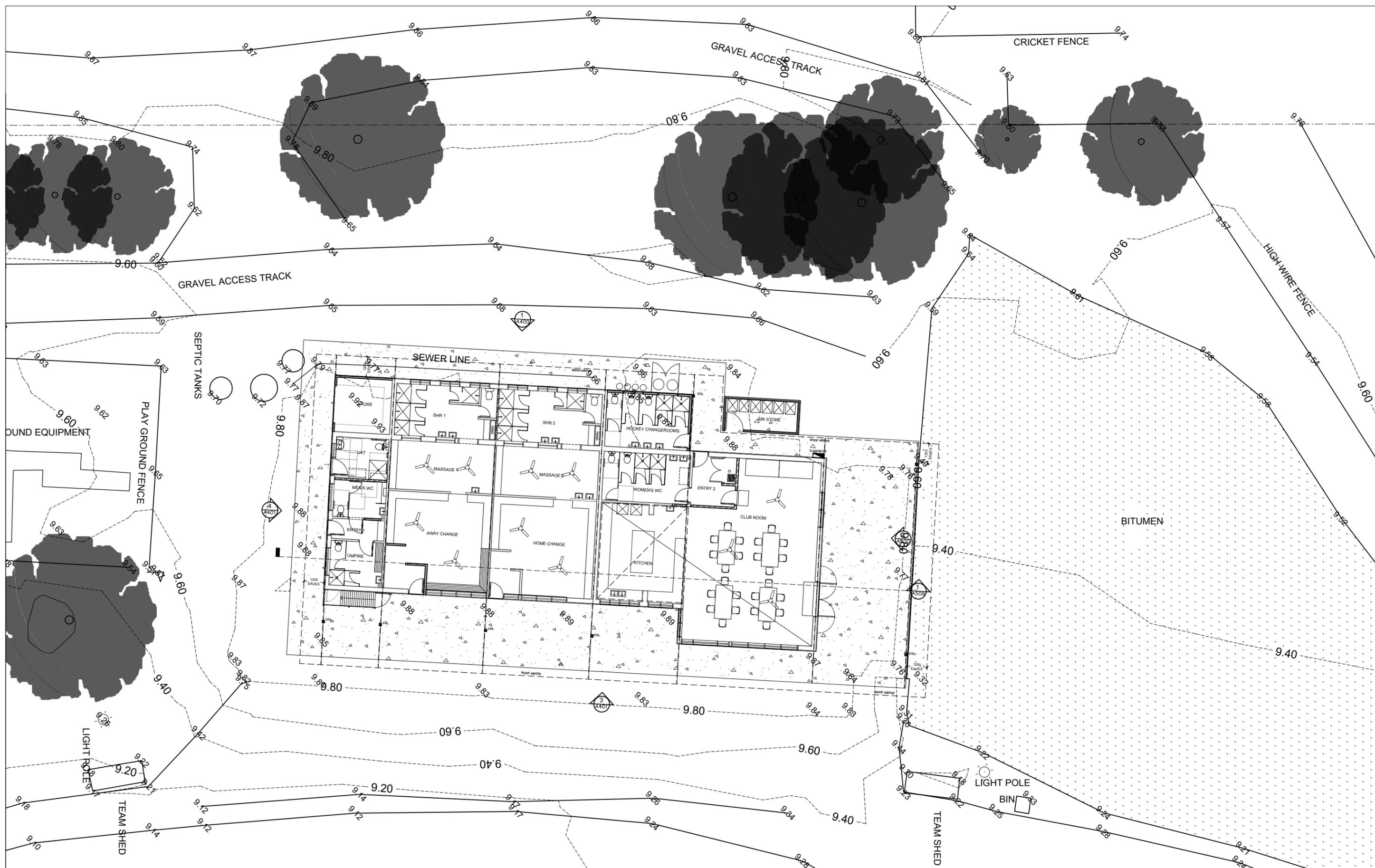


TOR CHANGE + 4900
 CEILING + 4480
 TOR + 3770
 CEILING + 3270
 CEILING + 2986
 TOW + 2743

FFL 0.00
 GROUND LINE (VARIES) - 43

1140
 1025
 2750

Notes	Project KONDININ PAVILION	Drawing EXISTING SECTION	Project Status: CONCEPT DESIGN	 <p>2 Lennard Street cnr Robinson Rd Brookton WA 6306 PO Box 102 Brookton WA 6306 T. 9699 6474 admin@regionalarchitect.com.au www.regionalarchitect.com.au ABWA Reg #2150</p>
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Drawing PROPOSED SITE PLAN

Scale 1:200

Date 29/03/2023

Drawing No. A300

Revision A

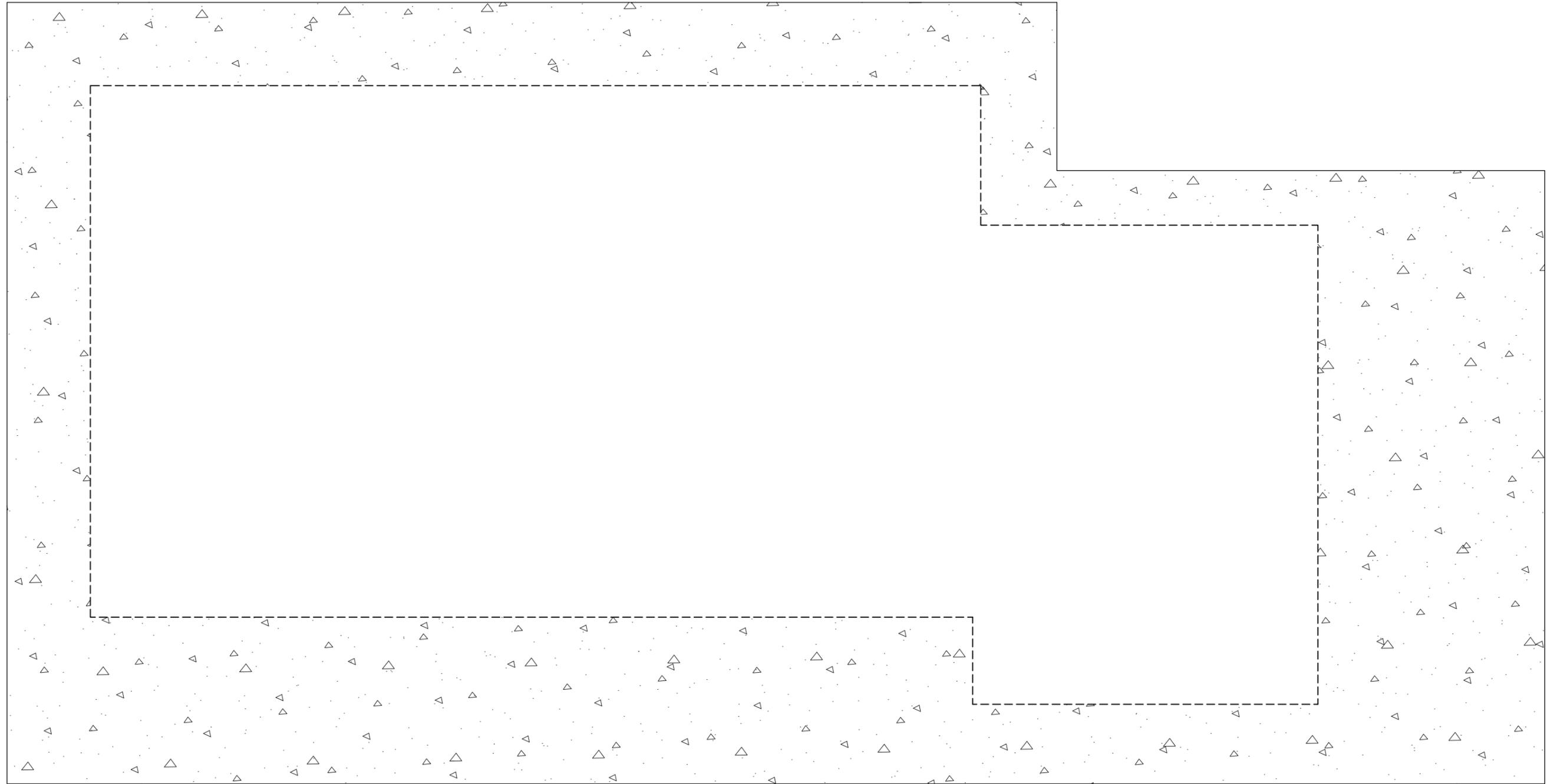
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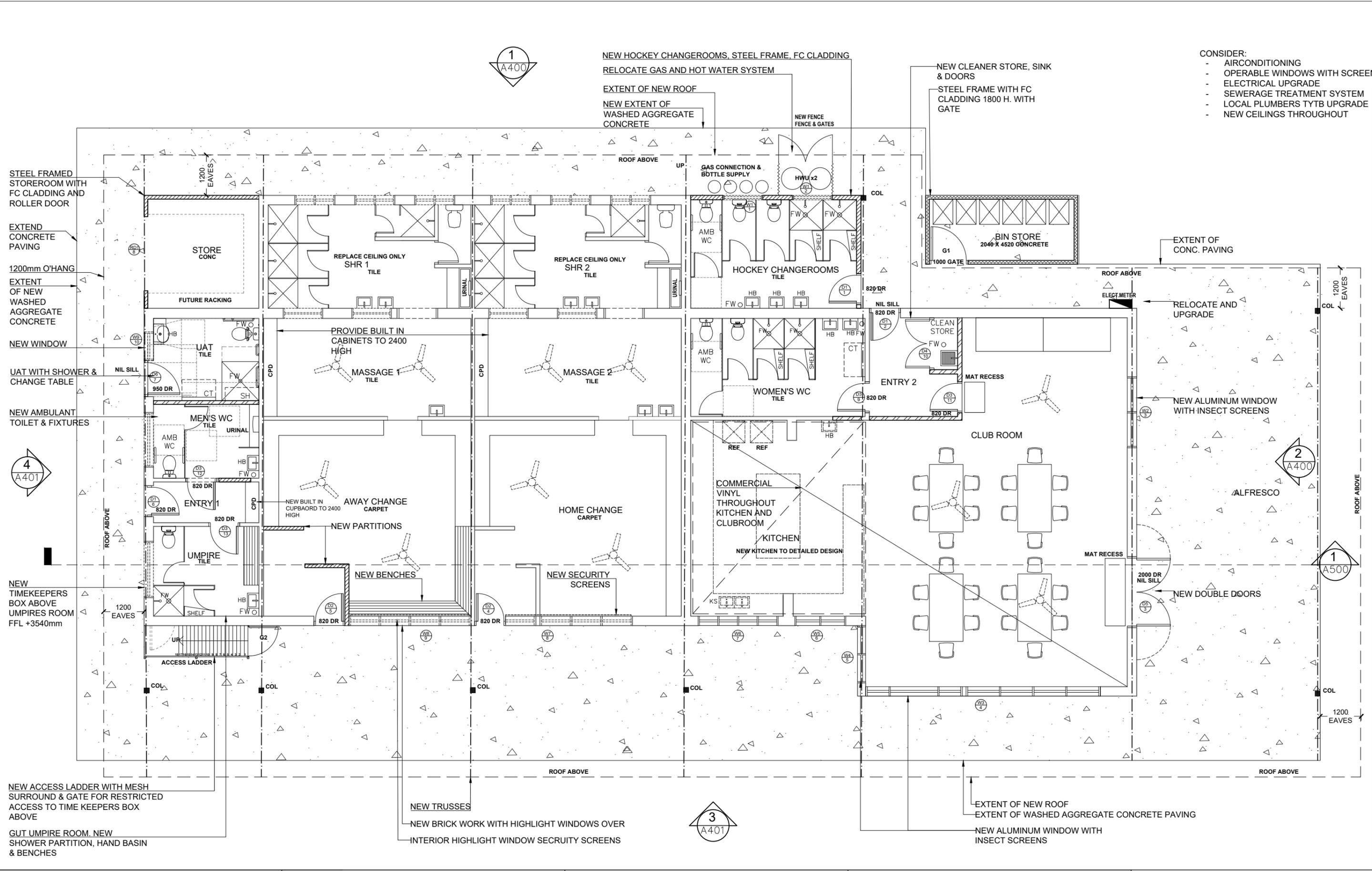

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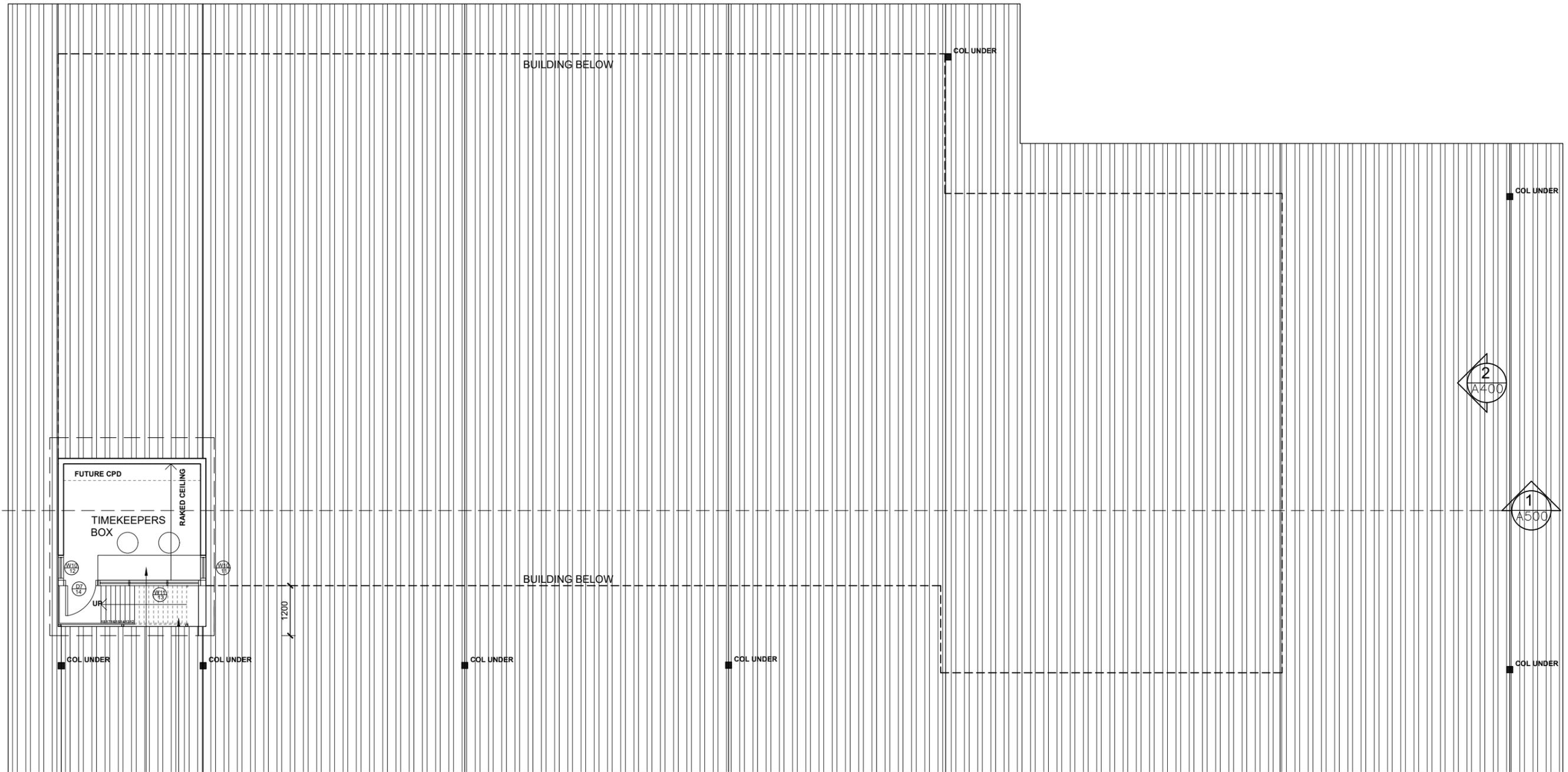


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- CONSIDER:
- AIRCONDITIONING
 - OPERABLE WINDOWS WITH SCREEN & DOORS
 - ELECTRICAL UPGRADE
 - SEWERAGE TREATMENT SYSTEM
 - LOCAL PLUMBERS TYTB UPGRADE
 - NEW CEILINGS THROUGHOUT

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NEW TIMEKEEPERS BOX ABOVE UMPIRES ROOM FFL +3540mm

NEW ACCESS LADDER WITH MESH SURROUND & GATE FOR RESTRICTED ACCESS TO TIME KEEPERS BOX ABOVE

Notes

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Drawing LEVEL 1 PLAN

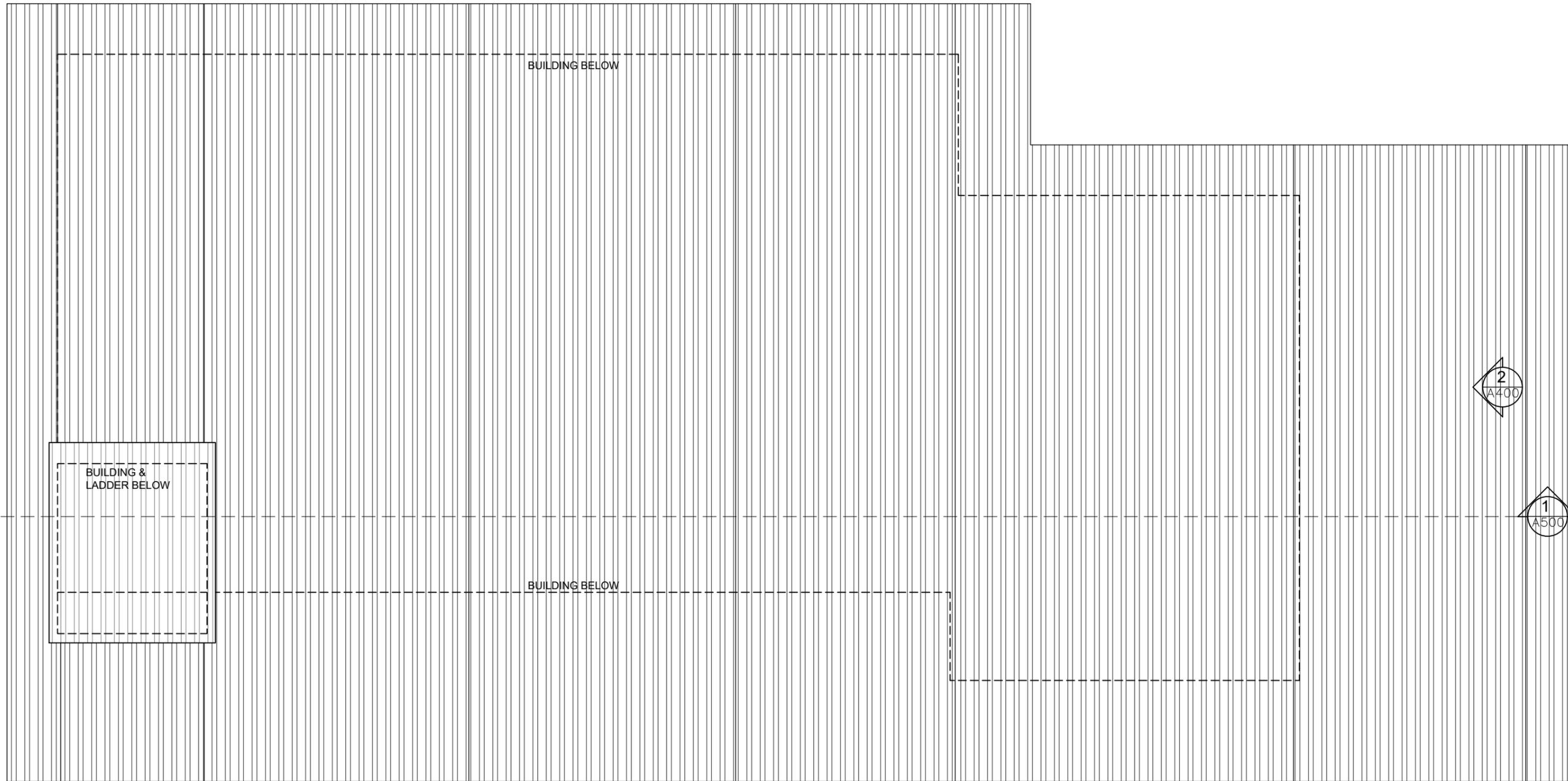
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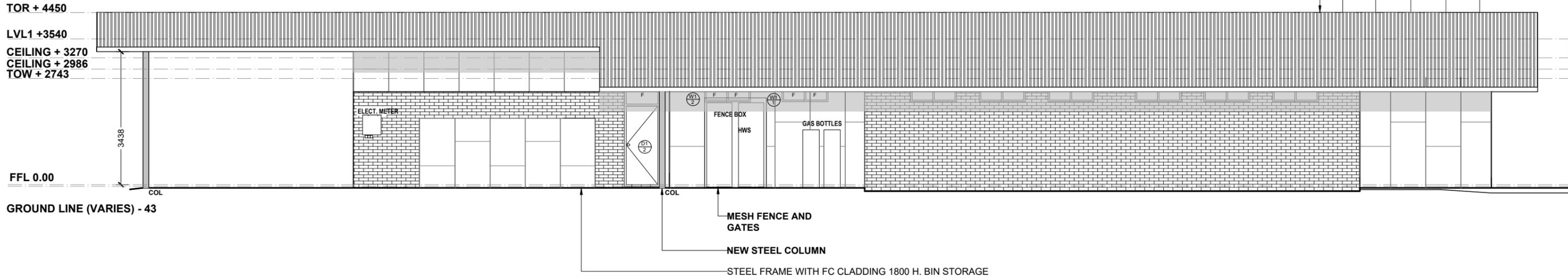
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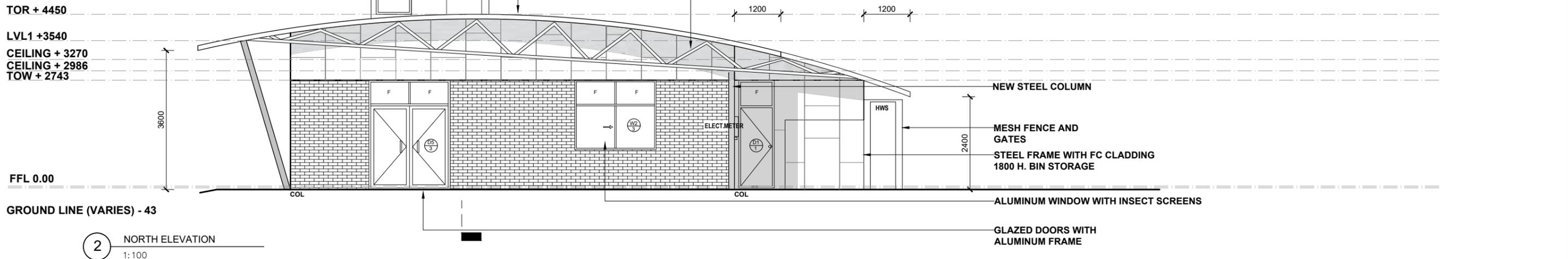
TOR CHANGE + 7390



1 EAST ELEVATION
1:100



TOR CHANGE + 7390



2 NORTH ELEVATION
1:100

Notes

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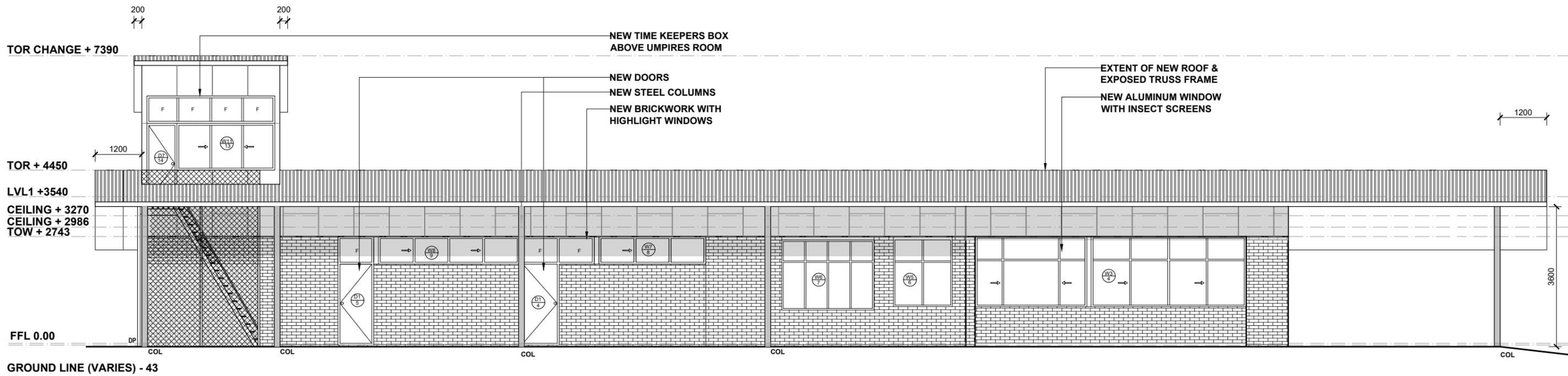
Project KONDININ PAVILION
Client SHIRE OF KONDININ
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ORA Project No. 2022 - 0017

Drawing ELEVATIONS
Scale 1:100
Date 29/03/2023
Drawing No. A400
Revision A

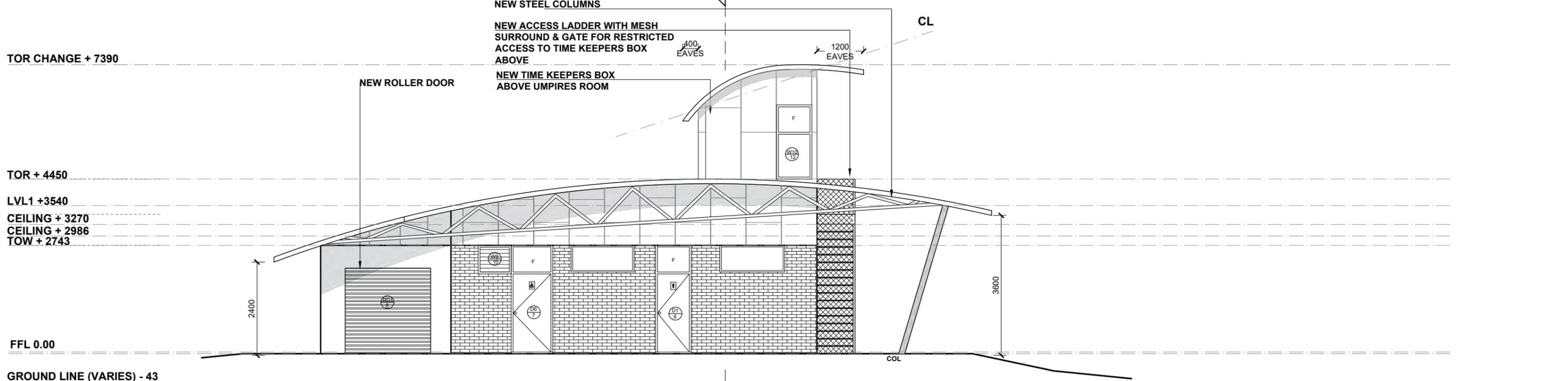
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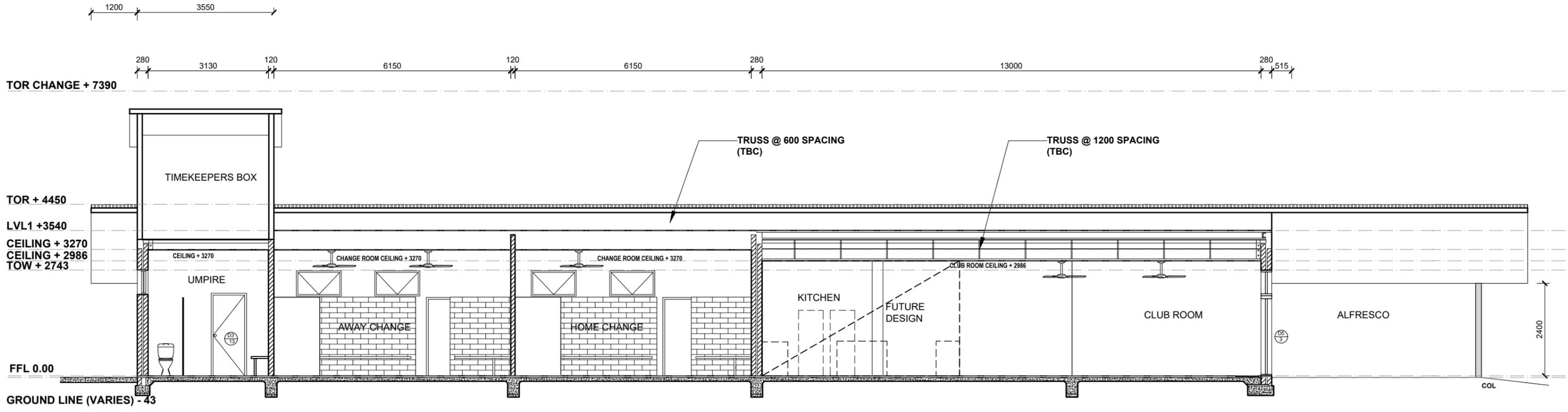


3 WEST ELEVATION
1:100



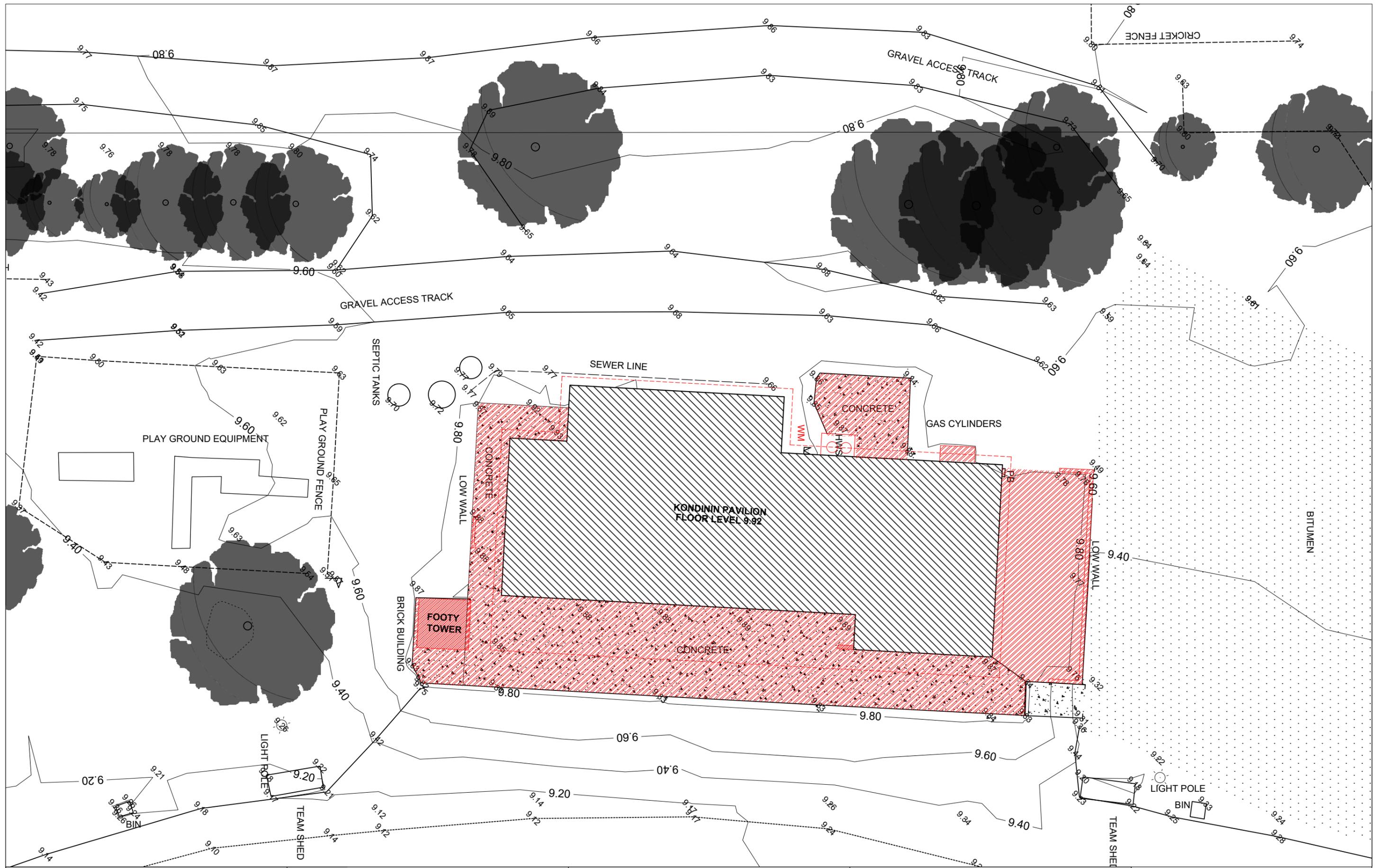
4 SOUTH ELEVATION
1:100

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1 SECTION AA
1:100

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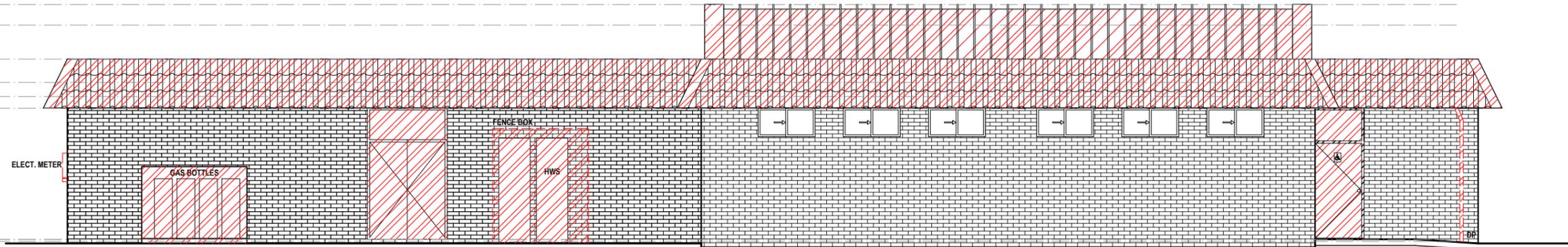


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ROOF PITCH 65°

TOR CHANGE + 4900
 CEILING + 4480
 TOR + 3770
 CEILING + 3270
 CEILING + 2986
 TOW + 2743

FFL 0.00
 GROUND LINE (VARIES) - 43



1 EAST ELEVATION
 1:100

ROOF PITCH 65°

TOR CHANGE + 4900
 CEILING + 4480
 TOR + 3770
 CEILING + 3270
 CEILING + 2986
 TOW + 2743

FFL 0.00
 GROUND LINE (VARIES) - 43



2 NORTH ELEVATION
 1:100

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ROOF PITCH 65°

TOR CHANGE + 4900
CEILING + 4480

TOR + 3770
CEILING + 3270
CEILING + 2986
TOW + 2743

FFL 0.00
GROUND LINE (VARIES) - 43



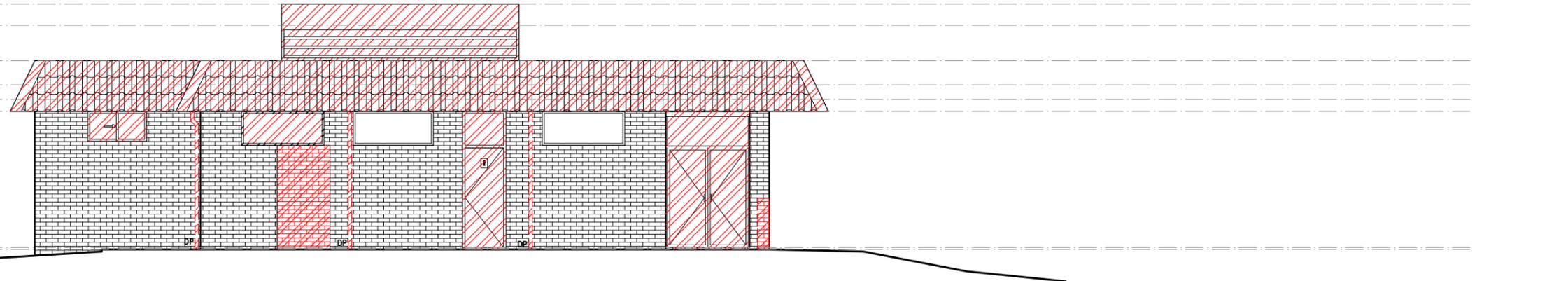
3 WEST ELEVATION
1:100

ROOF PITCH 65°

TOR CHANGE + 4900
CEILING + 4480

TOR + 3770
CEILING + 3270
CEILING + 2986
TOW + 2743

FFL 0.00
GROUND LINE (VARIES) - 43



4 SOUTH ELEVATION
1:100

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SHIRE OF KONDININ

Sport and Recreation Facilities Plan

2021 - 2031



Contents

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Authors	Caroline Robinson (150Square) Tory Young (Shire of Kondinin, Manager of Assets)
Council Adopted	16 June 2021
Reviewed	Council Amended 16 March 2022

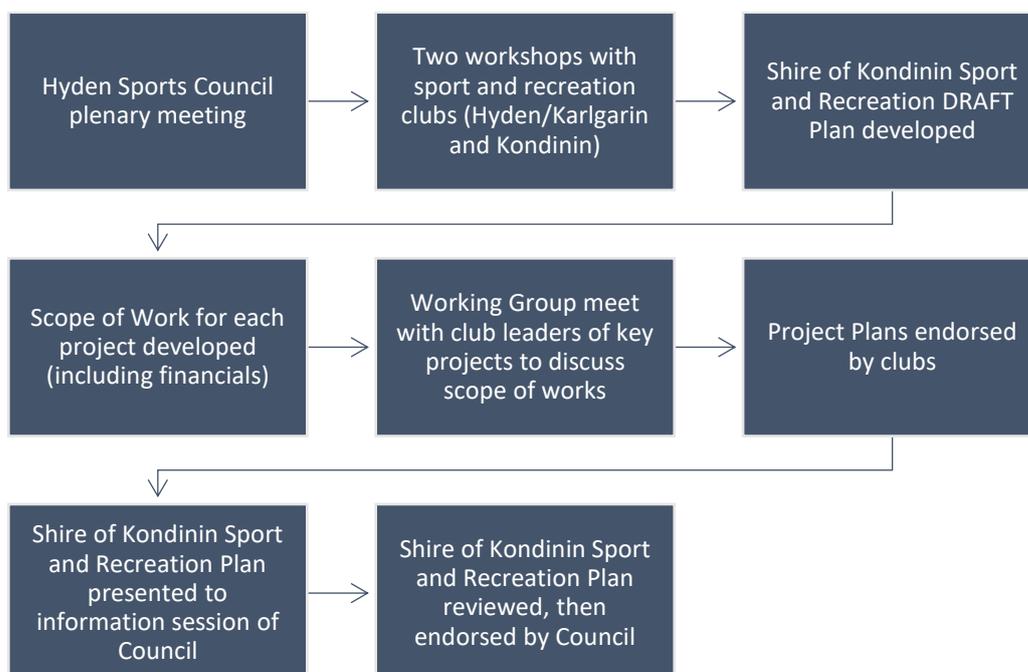
1. Purpose of the Plan

The Shire of Kondinin Sport and Recreation Facilities Plan has been developed to provide a clear vision of the direction in which Council, in partnership with local sport and recreation clubs would like to proceed with sport and recreation facilities over the next 10yrs and beyond. The purpose of the plan is to:

- **Identify the sport and recreation facilities** throughout the Shire of Kondinin
- **Highlight the needs of sporting groups** and what facility improvements are most-needed from their perspective with consideration of the future
- **Improve opportunities to participate** in active recreation and sporting activities within the Shire and
- To **establish a framework of investment** to address the key priorities for sustainable sport and recreation facilities across the Shire of Kondinin

2. Plan Development

The following stages were taken in developing this plan.



Members of the Working Group included Cr Mouritz, Cr Gangell, Cr Pool and Manager of Assets Tory Young.

3. Current Situation

The communities across the Shire of Kondinin have a strong sporting culture, history and connection with the wider community with successful clubs and teams across the district. Although the majority of sport and recreation infrastructure across the district is owned by the Shire of Kondinin there is a great sense of ownership and pride felt by the clubs that operate from these facilities towards their grounds and they actively contribute towards new or renovated facilities to improve their playing surfaces or clubrooms.

Current Sport and Recreation Facilities Across the Shire

Kondinin

- Kondinin Country Club – recently (2018-19) renovated to include new change rooms an enlarged kitchen and function area.
- Kondinin Bowling Rink
- Kondinin Hockey Field – not currently fit for use
- Kondinin Pavilion and Football / Cricket Oval
- Kondinin Netball Courts
- Kondinin Tennis Courts (4)
- Kondinin Aquatic Centre & Bill Smoker Room – built in 2014 with new amenities opened in 2015. Open from November to April. Includes a 25-metre lap pool, beach entry to toddlers and learn to swim area, spa area, kiosk and BBQ area. There is also a function centre available for hire all year round.
- Kondinin Golf Course – 18 holes and clubroom

Karlgarin

- Karlgarin Pavilion – Oval and clubroom catering for cricket.
- Karlgarin Bowling Club – Club room and bowling green

Hyden

- Hyden Recreation Centre
- Hyden Netball Courts (3)
- Hyden Cricket / Football Oval
- Hyden Hockey Grass Field
- Hyden Tennis Club – 8 courts and club room
- Hyden Golf Course – 18-hole course based around Wave Rock.
- Hyden Swimming Pool – a major upgrade was undertaken in 2008. Open from November to April. Features a main pool, toddlers and babies pool, diving pool with 1 and 3 metre high springboards. Also includes a volleyball court, cricket and basketball area, kiosk and large grassed area.

Sport and recreation clubs across the Shire have a unique set of circumstances which influence this plan:

- Multiple sport and recreation facilities across three townships e.g. two swimming pools, three ovals, two recreation centres, two bowling greens, etc.
- Across Shire sporting clubs e.g. KK Vipers Hockey Club
- Across township clubs e.g. Karlgarin Hyden Hockey Club
- Two active sports councils in the townships of Hyden and Kondinin which assist in sports leadership, planning and facility development

Payments and fees across the Shire vary and arrangements are in place with the two Sporting Councils regarding usage fees as well as any clubs not affiliated with these two organisations.

Sport and Recreation Clubs in the Shire of Kondinin

The districts sporting clubs can be broken into three tiers with small, medium and large membership bases.

Small Clubs <30 members	Kondinin Tennis Club Kondinin Kulin Cricket Club Karlgarin Bowling Club
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	Hyden Croquet Club Karlgin Hyden Pingaring Cricket Club Kondinin Swimming Club Kondinin Netball Club
Medium Clubs 30-50 members	Kondinin Bowling Club Kondinin Golf Club Karlgin Hyden Hockey Club Hyden Golf Club Hyden Netball Club
Large Clubs 50-100 Members	Kulin Kondinin Football Club KK Vipers Hockey Club Hyden Tennis Club Hyden Karlgin Football Club

Shire of Kondinin Sport and Recreation Main Events

Croquet	Infancy stage
Kondinin Kulin Cricket Club	Weekly training and weekend games in season, rotated in the association
Karlgin Hyden Pingaring Cricket Club	Weekly training and weekend games in season, rotated in the association
Hyden Golf Club	Open days, weekend competitions
Kondinin Golf Club	Open days, weekend competitions
Hyden Tennis Club	Weekend competitions, social tennis, pennants, open days, junior coaching, hosting finals for tennis
Kondinin Tennis Club	Weekend competitions, social tennis, pennants, open days, junior coaching, hosting finals
Kulin Kondinin Football Club	Weekday trainings and weekend competitions in the association, hosting finals, regional competitions, youth competitions
Hyden Karlgin Football Club	Weekday trainings and weekend competitions in the association, hosting finals, regional competitions, youth competitions
Kondinin Swimming Club	Weekday training session and weekend time trails
Hyden Swimming Club	Weekday training session
Karlgin Bowls	Weekday and weekend competitions in the association, Rose Bowls, open days, regional competitions, social bowls, hosting finals
Kondinin Bowls	Weekday and weekend competitions in the association, Rose Bowls, open days, regional competitions, social bowls, hosting finals
Kondinin Netball Club	Weekday trainings and weekend competitions in the association, hosting finals, regional competitions, youth competitions, social netball
Hyden Netball Club	Weekday trainings and weekend competitions in the association, hosting finals, regional competitions, youth competitions, social netball
Karlgin Hyden Hockey Club	Weekday trainings and weekend competitions in the association, social hockey, regional competitions, hosting finals, youth competitions
KK Vipers Hockey Club	Weekday trainings and weekend competitions in the association, social hockey, regional competitions, hosting finals, youth competitions

Statistical Profile of the Shire of Kondinin

- Population: 873 (ABS Census 2016)
- Total Shire population down by 86 people (-9%) from 950 (2001) to 864 (2016)
- Electors: 568 (Your Everyday Council Statistics 2019/20)
- Population growth rate of -10.3% over the period 2006 to 2016 (968 persons at the time of the 2006 Census down to 873 in 2016)
- Median age: 43 years (ABS, Census 2016)
- The median aged has increased by almost a decade, up from a median age of 34 in 2006
- Population of Aboriginal and/or Torres Strait Islander people: 57 (ABS, Census 2016)
- The Aboriginal proportion of the population has decreased in the Shire from 8.6% in 2006 to 6.6% in 2016 (ABS, Census 2016)
- Median weekly income has increased from \$452 in 2006 to \$763 in 2016 (ABS, Census 2016)
- Median weekly family income has increased from \$1,081 in 2006 to \$1,570 in 2016 (ABS Census 2016)

Community Profile of the Shire of Kondinin

(INSIGHT Regional Australia Institute – data compiled using a number of state and federal data sets between 2010 - 2016)

- High rate of volunteerism (42.6% of persons aged 15 and over participate in voluntary work) but with a declining population there is a high risk of volunteer fatigue with fewer people available to contribute.
- Access to allied health services and distance to medical facilities are ranked poorly, with an average distance of 49.5km for resident to travel to access a medical facility.
- Poor access to telecommunications infrastructure and services (only 73% of households with internet connections, limited broadband coverage)
- High business turnover per capita (\$267,743)
- High population turnover (34.7%) and population decline (growth rate of -4.14%)
- High rate of workforce participation (63.3%) and low unemployment (2.5%)

Participation Across the Shire of Kondinin

It is difficult to determine the Shire's participation rate in non-structured sport and recreation activities such as dancing, cycling, running, use of skate parks or other activities where clubs aren't involved.

On average sporting club participation remains stable but with the increasing pressure of volunteer burn out in delivering these sports. Hockey, netball and tennis have more female participants than male.

Although clubs are open to having members of varied abilities, sporting club participation across non-able bodied participants is low – this could be linked to a number of factors.

A massive voluntary effort to run the sport and recreation clubs across the Shire is evident. Additionally many of the same people are on multiple sport and community group executives.

4. Future Planning, Ideas and Issues

Over the last five years \$9m has been spent across the district on sport, recreation and cultural infrastructure. The annual maintenance and operating costs associated with sport and recreation infrastructure is approximately \$1.8m each year, with the three town ovals, recreation centres and swimming pools being the main cost areas. Annual income from sports clubs for the facilities is proportionately low – circa \$25K. Annual depreciation is circa \$750K.

Historically the Shire has relied on valuable contributions from the State and Federal Governments as well as the sporting clubs to maintain and enhance sport and recreation infrastructure. Usually on 1/3rd contribution basis from each party.

Whilst all clubs can point to areas of improvements in their facilities, most of the sport and recreation facilities seem to be of a moderate to good standard.

To assist in the forward planning of sport and recreation infrastructure and priorities across the district, the Shire of Kondinin held two workshops to receive feedback on sport and recreation facilities (16 and 18 February 2021). Over 55 attendees came. The level of engagement was extremely positive, and it was clear to see how much sport and recreation meant across the district.

When discussing the meaning of sport and recreation to the district many positive references were made with a resonating comment being made that sport and recreation is the ***plays a central role in community health, wellbeing and social cohesion.***

The main themes mentioned at the workshops included:

- Social fabric across the three communities
- Togetherness and a sense of community
- Mental and physical health and wellbeing
- Pride and achievement

Barriers to Participation

Attendees analysed the main barriers to participation across the district and any specific groups that were missing out. Attendees also identified a number of ideas to help alleviate barriers and improve participation. The main themes were:

- Financial factors – membership fees, other costs of participation e.g. equipment
- Limited population growth – lack of people and limited accommodation for new people across the communities
- Associations – fixturing conflicts across sports and during peak agricultural seasons
- Distance – regional competition means lots of traveling to games which may be hard for some with other commitments
- Advertising/Awareness – apprehensive about breaking into new groups, no knowledge or awareness of options

Attendees identified some ideas moving forward to break down barriers:

- More children
- Review membership regularly to make sure its affordable
- Lowering fees/subs to encourage access
- Childminding services so parents can play

- Association re-align to follow each other
- Engagement with schools
- More drive for juniors
- Promotion of participation within clubs
- Improve facilities
- Focus on junior development, coaching clinics
- Open days and invitations to surrounding clubs
- Share the load to help volunteers

Facility Planning

Since the initial workshops, the Shire of Kondinin and sports clubs have developed the following list of short term (1-2yrs), medium term (3-5yrs) and long term (5yrs plus) significant facility projects.

Priority	New or Existing Facility	Facility Recommendation	Action	Who
Short term	E	Hyden Sports Facilities Precinct Plan	Masterplan of sports surfaces and facilities in the Hyden town site Cost benefit for netball court resurface v relocation Cost benefit for hockey surface / Cost benefit for multipurpose tennis and hockey surface Changeroom design Gym design Bar access Rationalisation Staged process	Shire of Kondinin Hyden Sports Council
Short term	E	Kondinin Water Storage	Plan for improved water capture, storage and use on Kondinin playing surfaces	Shire of Kondinin Water Corporation Kondinin Community Recreation Council Kondinin Kulin Football Club KK Vipers Hockey Club
Short term	E	Kondinin Pavilion Plan	Design for improvements at the pavilion	Shire of Kondinin Kondinin Community Recreation Council
Short term	E	Kondinin Bowls resurface	Bowls resurface	Shire of Kondinin Kondinin Bowls Kondinin Community Recreation Council
Short term	E	Hyden Oval Reticulation	Oval reticulation	Shire of Kondinin
Short term	E	Hyden Golf Club ceiling	Replacement of ceiling	Shire of Kondinin Hyden Golf Club
Short term	E	Hyden Recreation Centre (building)	Designs	Shire of Kondinin Hyden Sports Council

Short term	E	Hyden Tennis Club roof	Replacement of roof	Shire of Kondinin Hyden Tennis Club
Short term	E	Hyden Pool Change rooms	Upgrades and improvements to the Hyden Pool Change rooms	Shire of Kondinin
Short term	E	Kondinin Hockey Field	Grass field	Shire of Kondinin Kondinin Community Recreation Council KK Vipers Hockey Club
Short Term	E	Hyden tennis resurface	8 x tennis court resurface and Hotshots Court	Shire of Kondinin Hyden Tennis Club
Medium term	E	Hyden Recreation Centre (pavilion, change rooms and gym)	Building Upgrades	Shire of Kondinin Hyden Karlgarin Football Club Hyden Karlgarin Hockey Club Hyden Sports Council Hyden Karlgarin Pingaring Cricket Club Shire of Kondinin
Medium term	N	Karlgarin Bowls Clubroom	Clubroom	Karlgarin Bowling Club
Medium term	E	Hyden netball courts	Resurface / Colocation	Shire of Kondinin Hyden Netball Club Hyden Sports Council
Medium term	E	Kondinin Pavilion improvements	Pavilion improvements	Shire of Kondinin Kondinin Community Recreation Council
Medium term	E	Hyden Golf Club	Toilet and carpet upgrades	Shire of Kondinin Hyden Golf Club
Long term	E	Hyden Pool lighting	Lighting installation	Shire of Kondinin
Long term	N	Kondinin Skatepark design	Design for an improved stakepark	Shire of Kondinin
Long term	N	Kondinin Skatepark improvements	Skatepark plan implemented	Shire of Kondinin
Long term	E	Kondinin Pool lighting	Install lighting	Shire of Kondinin
Long term	E	Kondinin tennis court resurface	Resurface	Shire of Kondinin Kondinin Tennis Club
Long term	E	Kondinin Golf Club	Minor to the building and storage	Shire of Kondinin Kondinin Golf Club
Long term	E	Hyden Pool	Maintenance on Hyden pool bowl	Shire of Kondinin

Projects that could occur alongside this facilities plan, without a timeframe due to their small asset nature and ability to fund easily.

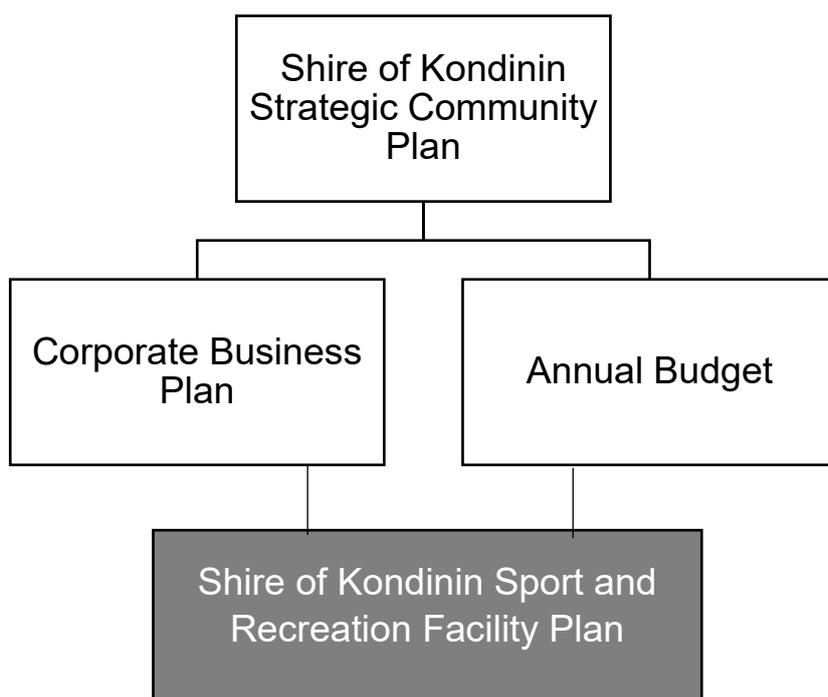
Project	Action	Who
Cricket nets	Landscaping around Hyden cricket nets	Shire of Kondinin
Hyden Oval	Extension of oval – between playing surface and spectator area	Shire of Kondinin
Cricket cover pitches	For both cricket clubs	Shire of Kondinin Hyden Karlgarin Pingaring Cricket Club Kulin Kondinin Cricket Club
Bumper boards	For both tennis clubs	Shire of Kondinin Kondinin Tennis Club Hyden Tennis Club
Karlgarin Oval Fence	Replacement and maintenance	Shire of Kondinin Hyden Karlgarin Pingaring Club Club

Relationship to Shire Plans

Asset Management Plan: There has been no allocation in the asset management plan for the receipt of sport and recreation grants to improve facilities.

Identification of sport and recreation facility maintenance and upgrades in the asset management plan:

Kondinin sports pavilion roof	\$35,000	2020/21 – 2025/26	Will now be included in whole of Pavilion upgrades
Swimming Pool Building renewal	\$400,000	2022/23	Scaled back and brought forward due to drought funding eligibility
Hyden Recreation Centre	\$65,000	2020/21	Planning stage
Kondinin Bowling Green resurface and Kondinin oval reticulation	\$271,358	2018/19 – 2020/21	Kondinin oval reticulation completed Kondinin bowling green resurface in progress
Sports Courts reseal	\$123,209	2018/19 – 2022/23	Allocation towards any reseal
Hyden Tennis Club	\$30000	2020/21	Planning stage
Karlgarin Oval Fence	\$25000	2019/20 – 2020/21	Completed 2020



5. Sport and Recreation Funding

The following are possible sources for the implementation of this plan.

Community Sporting and Recreation Facilities Fund (DLGSC)

The Western Australian Government commits to funding sport and recreation through the Community Sporting and Recreation Facilities Fund (CSRFF). The purpose of the program is to provide financial assistance to community sport and local governments to develop basic infrastructure for sport and recreation. The program aims to maintain or increase participation in sport and recreation with an emphasis on physical activity, through rational development of good quality, well designed and well-utilised facilities. The maximum grant offered for standard grant applications is one third of the total estimated project cost (excluding GST) up to a maximum grant of \$2 million. Some applications will be eligible for up to one half of the project cost if they are eligible through the development bonus scheme and target specific criteria.

CSRFF can fund new or upgraded facilities which will maintain or increase physical activity or result in a more rational use of facilities. Priority will be given to projects that lead to facility sharing and rationalisation. The program is not designed to provide facilities to meet a club's ambitions to compete in a higher grade.

Clubrooms including social space, kitchen, administration areas and viewing areas will be considered low priority as they are not directly linked to physical activity. Resurfacing projects are unlikely to be funded through CSRFF and would only be funded at a 16.66% rate as it is expected that facility managers will budget for resurfacing of existing sport surfaces as part of the ongoing operation of infrastructure.

Building Better Regions Fund

The \$1.04 billion Building Better Regions Fund (BBRF) supports the Australian Government's commitment to create jobs, drive economic growth and build stronger regional communities into the future. The Infrastructure Projects Stream: Supports projects that involve construction of new infrastructure, or the upgrade or extension of existing infrastructure and the Community Investments Stream: Funds community development activities including, but not limited to, new or expanded local events, strategic regional plans, leadership and capability building activities.

6. Appendices

Key Definitions

Recreation (i.e. active recreation) activities are those involving physical exertion where the primary focus is individual or group participation and enjoyment over elements of competition where rules and patterns of behaviour govern the activity. Active recreation does not include 'active work' or 'active living'. For the purpose of this plan any reference to 'recreation' is defined as 'active recreation'.

Sport is a human physical activity involving physical exertion and skill as the primary focus of the activity, with elements of competition where rules and patterns of behaviour governing the activity exist formally through organisations and is generally recognised as a sport. Map of Shire of Kondinin Sport and Recreation Facilities

Facilities in the Shire of Kondinin

KONDININ

A. Kondinin Pavilion and Country Club (Community Recreation Centre) with Bowls, Oval, Hockey Field and Recreation Centre, Tennis and Netball Courts

B. Kondinin Aquatic Centre & Bill Smoker Room

C. Kondinin Golf Club – 18 holes and clubroom



KARLGARIN

H. Karlgarin Pavilion – Oval and clubroom catering for cricket.

I. Karlgarin Bowling Club – Club room and bowling green



HYDEN

D. Hyden Recreation Centre and playing fields – recreation centre, catering for football, cricket, hockey and netball

E. Hyden Tennis Club – 8 courts and club room

F. Hyden Golf Course – 18-hole course based around Wave Rock.

G. Hyden Swimming Pool



CSRFF

CSRFF aims to increase physical activity and participation in sport and active recreation in Western Australia. CSRFF has several priorities to achieve this goal.

Some of the priority considerations for CSRFF include:

- Projects that will directly lead to an increase in physical activity or participation.
- Projects that lead to facility sharing between clubs, or rationalization of existing facilities to increase sustainability.
- Projects to upgrade facilities to make them more accessible for female participants (e.g. changerooms with lockable showers and no urinals).
- Projects in a location with a significant Aboriginal population that will increase participation or physical activity.

The type of projects which will be considered for funding include:

- New playing surfaces — ovals, courts, synthetic surfaces etc.
- Floodlighting projects (must be to Australian Standards)
- Change rooms and ablutions
- Sports storage

The types of projects which are eligible for funding, but will be considered a lower priority for funding are:

- Clubrooms including social space, kitchens, training rooms and administration areas (due to their minimal impact on physical activity).
- Shade shelters, viewing areas and verandahs (due to their minimal impact on physical activity).
- Resurfacing of existing sports surfaces such as courts and bowling greens. It is expected that facility managers will budget for these items as part of the ongoing operation of the facility, frequently over 7 to 10 years. If supported the project will likely attract a reduced funding percentage

Any project that does not achieve the aim of the fund to increase physical activity or participation in sport and active recreation will not be considered. Other funding bodies such as Lotterywest may provide funding for these facilities (e.g. arts, music, craft and passive recreation such as cards or men sheds)

Some other projects that are ineligible for funding through CSRFF include:

- Projects that have commenced or will commence before approvals are announced.
- Development of privately-owned facilities or commercial spaces.
- Arts, music and craft facilities.
- Maintenance or operating costs of existing facilities.
- Purchase of land, landscaping, car parks, access roads and other infrastructure costs.

- Playgrounds.
- Bikeways or pathways.
- Non land-based facilities, e.g. boat launching ramps, ocean pools and marinas.
- Non-fixed equipment or fixed sports specific equipment (for instance electronic targets, scoreboards).
- Facilities or fixtures for the express purpose of serving alcohol.
- Projects that do not meet Australian Standards and National Construction Code

PROJECT PLANS

PROJECT: Hyden Sports Surface and Facilities Precinct Plan

1. Project Description: Forward plan all playing surfaces and facilities in the Hyden Recreation Centre Precinct

2. Reasoning:

The Hyden Sports Council has been working closely with affiliated clubs to forward plan the Hyden sporting precinct over the last few years. There is a strong desire to see co-located surfaces and facilities as well as one day sport.

The Hyden netball courts are coming up for resurfacing (5-10yrs) and will continue to be resurfaced going into the future. Consideration towards relocation v resurfacing in the master plan

The Hyden tennis courts will be coming up for resurfacing (1-5yrs)

The hockey field requires watering and supply may be an issue in future years (drying climate)

The Karlgarin Hyden Hockey club would like toilets closer to their playing field as well as greater connection to the pavilion.

There are no women's change rooms at the Recreation Centre

There is a lack of storage for sports clubs.

A multipurpose tennis / hockey surface may be explored OR a netball / tennis hardcourt may be explored (colocation)

3. Scope of Works:

- Develop a surface and facility precinct plan

4. Club: Hyden Sports Council, Karlgarin Hyden Hockey Club, Hyden Netball Club, Hyden Karlgarin Football Club, Hyden Karlgarin Pingaring Cricket Club, Hyden Tennis Club

5. Budget: \$10K

6. Replacement Cost:

7. Commitment: Hyden Sports Council working with clubs on a precinct plan

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Plan					

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	
		Social and community	Human capital uplift Social inclusion Disaster response / community meeting place
		Environmental	Green space benefit
		Economic	Increased economic activity
	Participant Assessment	Current	
		Future	
		Multiuse	Co-location Retention and increase in membership
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Costing	Resource Requirements	\$10K – planning fees	
	Complexity	Medium	
	Risks	Collaboration amongst clubs	
	Funding sources	Internal	

PROJECT: Kondinin Water Access and Storage

1. Project Description: Reliable water supply to the Kondinin Oval and Hockey Field

2. Reasoning:

Lack of water affects the grass and quality of the playing surfaces.

This asset has had significant investment by the Shire in previous years

Engagement with Water Corp to access water to Yerrakine Dam and then into town

3. Scope of Works:

- Resolve water supply issues with Water Corporation
- Install water storage

4. Club: Kondinin Community Recreation Council, KK Football Club, KK Vipers Hockey Club

5. Budget: \$50K

6. Replacement Cost:

7. Commitment: The Shire of Kondinin will work with the Water Corp to resolve water access issues

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Plan / Agreement	Storage				

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Facility category:

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits A reduced risk of accidents
		Social and community	Disaster response / community meeting place
		Environmental	Green space benefit
		Economic	Increased visitation
	Participant Assessment	Current	Retention of members Home games
		Future	
		Multiuse	

	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Costing	Resource Requirements	\$50K	
	Complexity	Medium	
	Risks	Access to the dam Water Corp agreement	
	Funding sources	Internal	

PROJECT: Kondinin Hockey Field

1. Project Description: Grass Field

2. Reasoning:

Water access and storage should be determined and secured before the grass is replanted on the current field

Grass field will enable home games for the hockey club (currently share with football club)

3. Scope of Works:

- Resolve water supply issues with Water Corporation
- Levelling field and planting grass, reticulation

4. Club: Kondinin Community Recreation Council, KK Vipers Hockey Club

5. Budget: \$135K

6. Replacement Cost:

7. Commitment: The Shire of Kondinin will work with the Water Corp to resolve water access issues, KCRC and KK Vipers \$45K

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Grants	Construct				

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits
		Social and community	Social inclusion Disaster response / community meeting place Community pride Positive role modelling
		Environmental	Green space benefit
		Economic	
	Participant Assessment	Current	Retention of members
		Future	
		Multiuse	
Assessment Measures	Strategic Alignment to State Government		

		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Costing	Resource Requirements	\$135K	
	Complexity	Low	
	Risks	Access to the dam Water Corp agreement	
	Funding sources	Internal KCRC Club CSRFF	

PROJECT: Kondinin Pavilion

1. Project Description: Improve the Kondinin Pavilion change rooms and minor upgrades

2. Reasoning:

Pavilion used for Winter and Summer sports. Pavilion is ageing.

3. Scope of Works:

- Design additions and modifications – improved disabled access and access throughout the building, water capture and storage, women’s change rooms, larger gathering area, umpire room and shower, new roof and modernisation of kitchen

4. Club: Kondinin Community Recreation Council, Kulin Kondinin KK Vipers Hockey Club, Kondinin Kulin Cricket Club; Kondinin Kulin Football Club.

5. Budget: \$750,000

6. Replacement Cost:

7. Commitment: KCRC \$350,000

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
	Plan	Design and grants		Construct	

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	
		Social and community	Human capital uplift Social inclusion Community pride Disaster response / community meeting place
		Environmental	
		Economic	Increased economic activity
	Participant Assessment	Current	Retention of members
		Future	
		Multiuse	
Assessment Measures	Strategic Alignment to State Government		

		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
		Alignment to SSA	
Costing	Resource Requirements	\$750K	
	Complexity	Low	
	Risks		
	Funding sources	Internal KCRC CSRFF	

PROJECT: Kondinin Bowling Greens

1. Project Description: Replace the Kondinin Bowls surface

2. Reasoning: End of life cycle

3. Scope of Works:

- New bowling rink surface

4. Club: Kondinin Bowling Club, Kondinin Community Recreation Council

5. Budget: \$140K

6. Replacement Cost:

7. Commitment: Kondinin Bowls Club \$60K

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Grants	Construct				

10. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits
		Social and community	Human capital uplift Social inclusion Positive role modelling
		Environmental	
		Economic	
	Participant Assessment	Current	Membership retention
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Alignment to SSA			
Costing	Resource Requirements	\$140K	
	Complexity	Low	

	Risks	
	Funding sources	Internal Club CSRFF

PROJECT: Hyden Oval Reticulation

1. Project Description: Reticulation for the Hyden Oval

2. Reasoning: Preservation of the asset so that it can be used for Winter and Summer sports

3. Scope of Works:

- Installation of reticulation at the Hyden Oval

4. Club: Shire owned facility

5. Budget: \$100K

6. Replacement Cost:

7. Commitment: Shire owned facility and ongoing maintenance

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Construct					

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	
		Social and community	Human capital uplift Social inclusion Community pride Disaster response / community meeting place
		Environmental	Green space benefit
		Economic	Increased visitation
	Participant Assessment	Current	Membership retention Community and visitor use
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local

		Alignment to SSA	
Costing	Resource Requirements	\$100k	
	Complexity	Low	
	Risks		
	Funding sources	Internal	

PROJECT: Golf Clubs

1. Project Description: Minor improvements to the Hyden golf clubhouse and at the Kondinin golf club

2. Reasoning:

Hyden Golf clubroom ceiling needs replacement as it may be dangerous in years to come

Solar panels on the Kondinin Golf Shed for buggy charge station, extra storage space

3. Scope of Works:

- Hyden Golf Club ceiling replacement
- Kondinin shed construction and solar panels

4. Club: Kondinin Golf Club, Hyden Golf Club, Kondinin Community Recreation Committee, Hyden Sports Council

5. Alignment to Kondinin Sport and Recreation Plan:

6. Budget: \$60K

7. Replacement Cost:

8. Commitment: Golf Clubs \$5K each

9. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
		Hyden			Kondinin

10. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Facility category:

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	
		Social and community	Human capital uplift Social inclusion
		Environmental	
		Economic	Increased visitation
	Participant Assessment	Current	Membership retention
		Future	
		Multiuse	
Assessment Measures	Strategic Alignment to State Government		

		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
		Alignment to SSA	
Costing	Resource Requirements	\$60K	
	Complexity	Low	
	Risks		
	Funding sources	Internal Clubs	

PROJECT: Hyden Recreation Centre

1. Project Description: Upgrade the Hyden Recreation Centre in line with the precinct plan

2. Reasoning:

Hyden Recreation Centre serves the Winter sports of football and hockey and the Summer sport of cricket. Going forward the netball club may use the Recreation Centre if they co-locate.

The Recreation Centre upgrades will include an expansion and upgrade of change rooms for home and away teams, so too women as these are currently inadequate.

Inclusion of an improved gym space with access outside of hours.

3. Scope of Works:

- Womens and away team change rooms
- Gym construction
- Storage space
- Improved spectator viewing and meeting space
- Co-location and use of kitchens, canteen access etc

4. Club: Karlgarin Hyden Hockey Club, Hyden Netball Club, Hyden Tennis Club, Hyden Karlgarin Football Club, Hyden Karlgarin Pingaring Cricket Club, Hyden Sports Council

5. Budget: \$100K design and \$2m construction

6. Replacement Cost:

7. Commitment: Hyden Sports Council \$350K

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Plan	Design and grants	Construct			

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits A reduced risk of accidents
		Social and community	Human capital uplift Social inclusion

			Disaster response / community meeting place Community pride
		Environmental	
		Economic	
	Participant Assessment	Current	Membership retention
		Future	Gym membership (new)
		Multiuse	Co-location of clubs
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance Alignment to SSA	Local
Costing	Resource Requirements	\$2m plus	
	Complexity	Medium	
	Risks	Management of club aspirations with affordability	
	Funding sources	Internal CSRFF Clubs Hyden Sports Council	

PROJECT: Karlgarin Bowls Club

1. Project Description: Upgrade the Karlgarin Bowls Clubroom

2. Reasoning: Currently the clubroom has asbestos and is split (storage / walkway / kitchen space). No requirement for toilets as there are public toilets within walking distance

3. Scope of Works:

- Storage space
- Social area
- Kitchenette

4. Club: Karlgarin Bowling Club

5. Budget: \$250K

6. Replacement Cost:

7. Commitment: Karlgarin Bowls Club \$60K

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
	Grants	Construct			

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	A reduced risk of accidents
		Social and community	Human capital uplift Social inclusion Disaster response and community meeting place
		Environmental	
		Economic	
	Participant Assessment	Current	Membership retention
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
Strategic Alignment to Shire of Kondinin		1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities	

		Significance	Local
		Alignment to SSA	
Costing	Resource Requirements	\$250K	
	Complexity	Medium	
	Risks	Land titles split over the green and current club rooms	
	Funding sources	Internal CSRFF Club	

PROJECT: Pool Lighting

1. Project Description: Upgrade both swimming pools lighting infrastructure to LED lights

2. Reasoning: Enables extended swimming hours

3. Scope of Works:

- Hyden Swimming Pool lights
- Kondinin Aquatic Centre lights

4. Club: Kondinin Community Recreation Committee, Hyden Sports Council, Kondinin Swimming Club, Hyden Swimming Club

5. Budget: \$150,000

6. Replacement Cost:

7. Commitment: Shire owned facility and ongoing maintenance of facility

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26	26/27
				Grant	Hyden	Kondinin

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits A reduced risk of accidents
		Social and community	Human capital uplift Social inclusion A reduction in crime and anti social behaviour
		Environmental	
		Economic	Increased visitation Employment Increased economic activity
	Participant Assessment	Current	
		Future	Increased patronage
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
Strategic Alignment to Shire of Kondinin		1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life	

			stages across the three communities
		Significance	Local
		Alignment to SSA	
Costing	Resource Requirements	\$150K	
	Complexity	Low	
	Risks		
	Funding sources	Internal CSRFF	

PROJECT: Hyden Tennis Club Roof

1. Project Description: Improved protection of tennis clubroom

2. Reasoning: Leaking and ongoing asset preservation

3. Scope of Works:

- Shed over the Hyden Tennis Club

4. Club: Hyden Tennis Club

5. Budget: \$50K

6. Replacement Cost:

7. Commitment: Hyden Tennis Club \$10K

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Construct					

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	
		Social and community	Social inclusion
		Environmental	
	Participant Assessment	Current	Membership retention
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
Strategic Alignment to Shire of Kondinin		1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities	
Significance		Local	
Costing	Resource Requirements	\$50K	
	Complexity	Low	
	Risks		
	Funding sources	Internal Club	

PROJECT: Hyden Pool Change rooms

1. Project Description: Improvements to the Hyden Swimming Pool change rooms

2. Reasoning: Change rooms are currently open air and ageing

3. Scope of Works:

- Womens and mens change rooms covered
- Internal aesthetic improvements and modernisation

4. Club: Shire of Kondinin owned facility

5. Budget: \$100K

6. Replacement Cost:

7. Commitment: Shire of Kondinin owned facility and ongoing maintenance

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
Construct					

10. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Reduced risk of accidents
		Social and community	Personal health benefits Social inclusion
		Environmental	
		Economic	Employment Increased visitation
	Participant Assessment	Current	
		Future	Increased patronage
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Alignment to SSA			
Costing	Resource Requirements	\$100K	

	Complexity	Low
	Risks	
	Funding sources	Internal Drought Funding

PROJECT: Hyden Tennis Court Resurface

1. Project Description: Resurface all eight tennis courts

2. Reasoning: Line markings are raising up, wearing in some areas, splitting at seams, all eight courts are ageing and unable to be patched up

3. Scope of Works:

- Replace front four tennis courts – synthetic surface

4. Club: Hyden Tennis Club

5. Budget: \$300K

6. Replacement Cost:

7. Commitment: Hyden Tennis Club \$120K

8. Timeframe:

20/21	21/22	22/23	23/24	24/25	25/26
	Grants	Construct			

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits A reduced risk of accidents
		Social and community	Human capital uplift Social inclusion Positive role modelling Community pride Elite sporting outcomes
		Environmental	
		Economic	
	Participant Assessment	Current	Membership retention
		Future	
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Alignment to SSA			

Costing	Resource Requirements	\$300K
	Complexity	Low
	Risks	
	Funding sources	Internal CSRFF Club

PROJECT: Hyden Swimming Pool Bowl

1. Project Description: Maintenance and improvements to the Hyden Swimming Pool

2. Reasoning: Asset renewal

3. Scope of Works:

- Maintenance of Hyden Swimming Pool

4. Club: Shire of Kondinin owned facility

5. Budget: \$150K

6. Replacement Cost:

7. Commitment: Shire of Kondinin owned facility and ongoing maintenance

8. Timeframe:

24/25	25/26	26/27	27/28	28/29	29/30
			Grants		Construct

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefits A reduced risk of accidents
		Social and community	Human capital uplift Social inclusion Positive role modelling A reduction in crime and anti social behaviour
		Environmental	
		Economic	Increased visitation Employment Increased economic activity
	Participant Assessment	Current	Retention of patronage
		Future	Increased patronage
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local

		Alignment to SSA	
Costing	Resource Requirements	\$150K	
	Complexity	Low	
	Risks		
	Funding sources	Internal CSRFF	

PROJECT: Kondinin Skate Park

1. Project Description: Upgrade the Kondinin Skatepark

2. Reasoning: Recreation and leisure space for Kondinin youth and visitors

3. Scope of Works:

- Upgrade skatepark (equipment, landscaping etc)

4. Club: Shire of Kondinin owned facility

5. Budget: \$10K design, \$100K construction

6. Replacement Cost: Shire of Kondinin owned facility and ongoing maintenance

7. Commitment:

8. Timeframe:

24/25	25/26	26/27	27/28	28/29	29/30
Plan			Grants		Construct

9. Project Assessment:

Using *Standards Australia Guide - Project Prioritisation Process and Criteria* as a guide.

Stage of the Process	Criteria	Detail	Comment
Proposal Evaluation	Net Benefit	Public health and safety	Personal health benefit
		Social and community	Social inclusion Reduction in crime and anti social behaviour
		Environmental	Green space benefit
		Economic	Increased visitation
	Participant Assessment	Current	
		Future	Increased local and visitor use
		Multiuse	
	Assessment Measures	Strategic Alignment to State Government	
		Strategic Alignment to Shire of Kondinin	1.3.3 Provide a variety of quality sport, recreation and leisure services and facilities for all life stages across the three communities
		Significance	Local
Costing	Resource Requirements	\$110K	
	Complexity	Low	
	Risks		

	Funding sources	Internal CSRFF BBRF Lotterywest
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UPDATE ON SHIRE OF KONDININ SPORT AND RECREATION FACILITIES PLAN MAY 2023

Facility Planning

Since the initial workshops, the Shire of Kondinin and sports clubs have developed the following list of short term (1-2yrs), medium term (3-5yrs) and long term (5yrs plus) significant facility projects. *(Extracted from Shire of Kondinin Sport and Recreation Facilities Plan 2021 – 2031)*

Priority	New or Existing Facility	Facility Recommendation	Action	Who	Update as at 17 th May 2023
Short term	E	Hyden Sports Facilities Precinct Plan	Masterplan of sports surfaces and facilities in the Hyden town site Cost benefit for netball court resurface v relocation Cost benefit for hockey surface / Cost benefit for multipurpose tennis and hockey surface Changeroom design Gym design Bar access Rationalisation Staged process	Shire of Kondinin Hyden Sports Council	<p>Completed in Part</p> <p><i>Hyden Sports Precinct Plan Site Plan developed and adopted by Council.</i></p> <p><i>Further analysis may be required dependent on scope of the development of the Hyden Sports Pavilion.</i></p>
Short term	E	Kondinin Water Storage	Plan for improved water capture, storage and use on Kondinin playing surfaces	Shire of Kondinin Water Corporation Kondinin Community Recreation Council Kondinin Kulin Football Club	<p>Completed</p> <p><i>Access and Licence secured with Water Corporation to access water from Yeerakine Rock</i></p> <p><i>Community Water Supply Program Funding</i></p>

				KK Vipers Hockey Club	<i>received from DWER for two new pumps and generators at the Kondinin Town Dam and the Kondinin CBH site respectively to be installed in June 2023.</i>
Short term	E	Kondinin Pavilion Plan	Design for improvements at the pavilion	Shire of Kondinin Kondinin Community Recreation Council	Completed <i>Architect engaged and design brief approved by Council at its Ordinary Meeting held on 16th November 2022.</i> <i>Plans and associated indicative costings presented to Sports Council Committee on the 17th May 2023 for information.</i>
Short term	E	Kondinin Bowls resurface	Bowls resurface	Shire of Kondinin Kondinin Bowls Kondinin Community Recreation Council	Completed <i>Bowling green re-surfaced in 2022 with shared funding from the Kondinin Bowling Club, the Kondinin Community Recreation Council and the Shire of Kondinin.</i>
Short term	E	Hyden Oval Reticulation	Oval reticulation	Shire of Kondinin	Completed <i>Upgrade to reticulation pipe and pump between oval and dam installed 2023. Complete new reticulated sprinkler system installed in 2021. All funded by Shire of Kondinin.</i>
Short term	E	Hyden Golf Club ceiling	Replacement of ceiling	Shire of Kondinin Hyden Golf Club	Completed <i>New ceiling installed in 2022 by the Shire of Kondinin via funding through the Local Roads and Community Infrastructure.</i>

Short term	E	Hyden Recreation Centre (building)	Designs	Shire of Kondinin Hyden Sports Council	In Progress <i>Scope of project still to be determined. Matter presented to 17th May 2023 Sports Council Committee for discussion.</i>
Short term	E	Hyden Tennis Club roof	Replacement of roof	Shire of Kondinin Hyden Tennis Club	In Progress <i>Plans completed and contractor engaged. Works being funded through the Local Roads and Community Infrastructure Program and the Shire of Kondinin to be completed by December 2023.</i>
Short term	E	Hyden Pool Change rooms	Upgrades and improvements to the Hyden Pool Change rooms	Shire of Kondinin	In Progress <i>Contractor engaged. Works commenced in January 2023 and on track to be completed by June 2023. Works funded through the Local Roads and Community Infrastructure Funding.</i>
Short term	E	Kondinin Hockey Field	Grass field	Shire of Kondinin Kondinin Community Recreation Council KK Vipers Hockey Club	Completed <i>Works completed in February 2023 and was funding through grant funding received from the Department of Local Government, Sports and Cultural Industries, the Kondinin Community Recreation Council and the Shire of Kondinin.</i>

Medium term	E	Hyden Recreation Centre (pavilion, change rooms and gym)	Building Upgrades	Shire of Kondinin Hyden Karlgarin Football Club Hyden Karlgarin Hockey Club Hyden Sports Council Hyden Karlgarin Pingaring Cricket Club	Not Commenced <i>Waiting on finalisation of scope of works.</i>
Medium term	N	Karlgarin Bowls Clubroom	Clubroom	Shire of Kondinin Karlgarin Bowling Club	In Progress <i>Discussions being held with Karlgarin Bowling Club.</i> <i>Land tenure to be finalised between Shire of Kondinin and Karlgarin Country Club so that all 3 bowling lots are in the one ownership before works can commence.</i> <i>Settlement papers signed and awaiting settlement date to progress to seek approval from DPLH to create one large crown lot vested in the Shire that accommodates the whole bowling green.</i>
Medium term	E	Hyden tennis resurface	4 x tennis court resurface	Shire of Kondinin Hyden Tennis Club	In Progress <i>Funded by the Shire of Kondinin, the Hyden Tennis Club and grant funding from the Department of Local Government, Sport and Cultural Industries. Works 90 per cent complete.</i>

Medium term	E	Hyden netball courts	Resurface Colocation /	Shire of Kondinin Hyden Netball Club Hyden Sports Council	Discussion Only <i>No firm direction to date.</i>
Medium term	E	Kondinin Pavilion improvements	Pavilion improvements	Shire of Kondinin Kondinin Community Recreation Council	In Progress <i>Plans and costings prepared. Subject to securing funding from KCRC, Council and Grant provider.</i>
Medium term	E	Hyden Golf Club	Toilet and carpet upgrades	Shire of Kondinin Hyden Golf Club	Discussion Only <i>Shire's Administration have met with Golf Club on site to discuss proposed toilet and shower upgrade and received informal feedback from a plumber and builder.</i> <i>Golf Club would like considered in the 2024 / 25 financial year so that can host State Sands Competition.</i>
Long term	E	Hyden Pool lighting	Lighting installation	Shire of Kondinin	Not Commenced
Long term	N	Kondinin Skatepark design	Design for an improved stakepark	Shire of Kondinin	Not Commenced <i>Was raised as part of Playgrounds Survey. Projects Officer looking to engage consultant to prepare design.</i>
Long term	N	Kondinin Skatepark improvements	Skatepark plan implemented	Shire of Kondinin	Not Commenced <i>Subject to completion of design.</i>
Long term	E	Kondinin Pool lighting	Install lighting	Shire of Kondinin	Not Commenced

Long term	E	Kondinin tennis court resurface	Resurface	Shire of Kondinin Kondinin Tennis Club	Not Commenced <i>Tennis Club and KCRC transfer match funds in a term deposit on annual basis.</i>
Long term	E	Kondinin Golf Club	Minor to the building and storage	Shire of Kondinin Kondinin Golf Club	Not Commenced
Long term	E	Hyden Pool	Maintenance on Hyden pool bowl	Shire of Kondinin	Not Commenced

Projects that could occur alongside this facilities plan, without a timeframe due to their small asset nature and ability to fund easily. (Extracted from Shire of Kondinin Sport and Recreation Facilities Plan 2021 – 2031)

Project	Action	Who	Status Update
Cricket nets	Landscaping around Hyden cricket nets	Shire of Kondinin	IN PROGRESS <i>Has been included in Shire Gardener's scope of works to tidy up area around Hyden cricket net.</i> <i>Hyden Cricket Club to be asked again to remove the old cricket net.</i>
Hyden Oval	Extension of oval – between playing surface and spectator area	Shire of Kondinin	IN PROGRESS <i>In discussions as part of upgrades to Hyden Sports Pavilion.</i>
Cricket cover pitches	For both cricket clubs	Shire of Kondinin Hyden Karlgarin Pingaring Cricket Club Kulin Kondinin Cricket Club	COMPLETED <i>Both cricket clubs have recently upgraded covers over their cricket pitches.</i>

Bumper boards	For both tennis clubs	Shire of Kondinin Kondinin Tennis Club Hyden Tennis Club	COMPLETED IN PART <i>New bumper board has been installed at the Hyden Tennis Courts through shared funding from the Shire and the Tennis Club.</i>
Karlgarin Oval Fence	Replacement and maintenance	Shire of Kondinin Hyden Karlgarin Pingaring Club Club	COMPLETED <i>New fence was completed for Karlgarin Centenary in 2020.</i> <i>Needs to be fixed in places.</i>